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www.selwyntownship.ca

Committee of Adjustment

Notice of Public Hearing

Take Notice that the Committee of Adjustment for the Township of Selwyn is holding a public hearing, to consider an application for a Minor Variance under Section 45 of the *Planning Act, R.S.O. 190, c.P13*, as amended.

Hearing Date: Tuesday, November 28, 2023
Hearing Time: 12:15 p.m.
Hearing Location: Electronic (virtual) Hearing – See below for details
Or
Council Chambers (lower level), 1310 Centre Line, Selwyn

File No.: A-36-23
Applicant/Owner: TTT Holdings Inc.
Agent: Neil Campbell
Property Location: 19-25 Hampton Lane - Lakefield Ward

The application seeks relief from the provisions of Zoning By-law No. 2009-021, as amended, in order to permit 3 new condominium townhouse buildings (20 dwelling units) as follows:

1. With reference to Section 4.11.3.2(i) – Townhouse Dwellings – to reduce the minimum lot area per unit from 270 m² to 220 m².
2. With reference to Section 4.11.3.2(iii) – Townhouse Dwellings – to reduce the minimum front yard setback from 7.5 metres to 7.0 metres.
3. With reference to Section 4.11.3.2(iii) – Townhouse Dwellings – to reduce the minimum front yard setback from 7.5 metres to 4.6 metres for unit 13 of Building 2B as per the site plan (1.0.2) prepared by Aside Architects dated 11/07/23.
4. With reference to Section 4.11.3.2(iii) – Townhouse Dwellings – to reduce the minimum front yard setback from 7.5 metres to 1.8 metres for unit 7 of Building 1 as per the site plan (1.0.1) prepared by Aside Architects dated 11/07/23.
5. With reference to Section 4.11.3.2(iv) – Townhouse Dwellings – to reduce the minimum exterior side yard setback from 7.5 metres to 2.3 metres for unit 7 of Building 1 as per the site plan (1.0.1) prepared by Aside Architects dated 11/07/23.

6. With reference to Section 4.11.3.2(v) – Townhouse Dwellings – to reduce the minimum interior side yard setback from 6 metres to 1.3 metres for units 8 (Building 2A) & 9 (Building 2B) as per the site plan (1.0.2) prepared by Aside Architects dated 10/27/23.
7. With reference to Section 4.11.3.2(v) – Townhouse Dwellings – to reduce the minimum interior side yard setback from 6 metres to 2.9 metres south of unit 13 of Building 2B as per the site plan (1.0.2) prepared by Aside Architects dated 10/27/23.
8. With reference to Section 4.11.3.2(v) – Townhouse Dwellings – to reduce the minimum interior side yard setback from 6 metres to 4.4 metres east of unit 1 of Building 1 as per the site plan (1.0.1) prepared by Aside Architects dated 11/07/23.
9. With reference to Section 4.11.3.2(v) – Townhouse Dwellings – to reduce the minimum interior side yard setback from 6 metres to 2.3 metres west of unit 7 of Building 1 as per the site plan (1.0.1) prepared by Aside Architects dated 11/07/23.
10. With reference to Section 4.11.3.2(vi) – Townhouse Dwellings – to reduce the minimum rear yard setback from 7.5 meters to 3 meters.
11. With reference to Section 4.11.3.2(vi) – Townhouse Dwellings – to increase the maximum lot coverage (all building and structures) from 40% to 60% as per the site plans (1.0, 1.0.1 and 1.0.2) prepared by Aside Architects dated 11/07/23.
12. With reference to Section 4.11.3.2.1 (vi)(i)(ii) & (iii) – Townhouse Dwellings – Minimum Spatial Separation Requirements – to decrease the minimum distance between two exterior walls of buildings with or without windows to 2.6 meters between units 8 (Building 2A) & 9 (Building 2B) as per the site plan (1.0.2) prepared by Aside Architects dated 11/07/23.
13. With reference to Section 4.11.3.2.1 (vi)(i)(ii) & (iii) – Townhouse Dwellings – Minimum Spatial Separation Requirements – to decrease the minimum distance between two exterior walls of buildings with or without windows to 3.5 meters between unit 13 of Building 2B and the single detached dwelling to the south as per the site plan (1.0.2) prepared by Aside Architects dated 11/07/23.

Options for Public Input to the Committee of Adjustment:

Written submissions - may be submitted prior to the granting of the minor variance(s) to the attention of Per Lundberg, Planner, Township of Selwyn:

- **Email** - No Later than 11:00 AM on the date of the Public Hearing:
planning@selwyntownship.ca
- **Drop Box (Municipal Office Adjacent to the Front Door)** - No Later than 11:00 AM on the date of the Public Hearing
- **Mail** (note - allow for sufficient delivery prior to the Public Hearing):

Township of Selwyn, PO Box 270, Bridgenorth, ON K0L 1H0

- **Fax** - No Later than 11:00 AM on the date of the Public Hearing: 705-292-8964

How to Participate in the Public Hearing

Virtual

In order to virtually attend the public hearing please **email** the Clerk at achittick@selwyntownship.ca no later than 4:00 p.m. the day prior to the public hearing.

Upon receipt of your email the Clerk will provide guidance and instructions on how to attend via Zoom. It is the responsibility of those interested in attending to have the technology in place to connect to the hearing.

In-Person

There may be limited opportunities for individuals to attend the in-person hearing if they are not able to attend the virtual hearing. Please contact the Clerk via email at achittick@selwyntownship.ca for further details.

Any person may attend the virtual/in-person public hearing and make written and/or oral submissions either in support or opposition to the proposal.

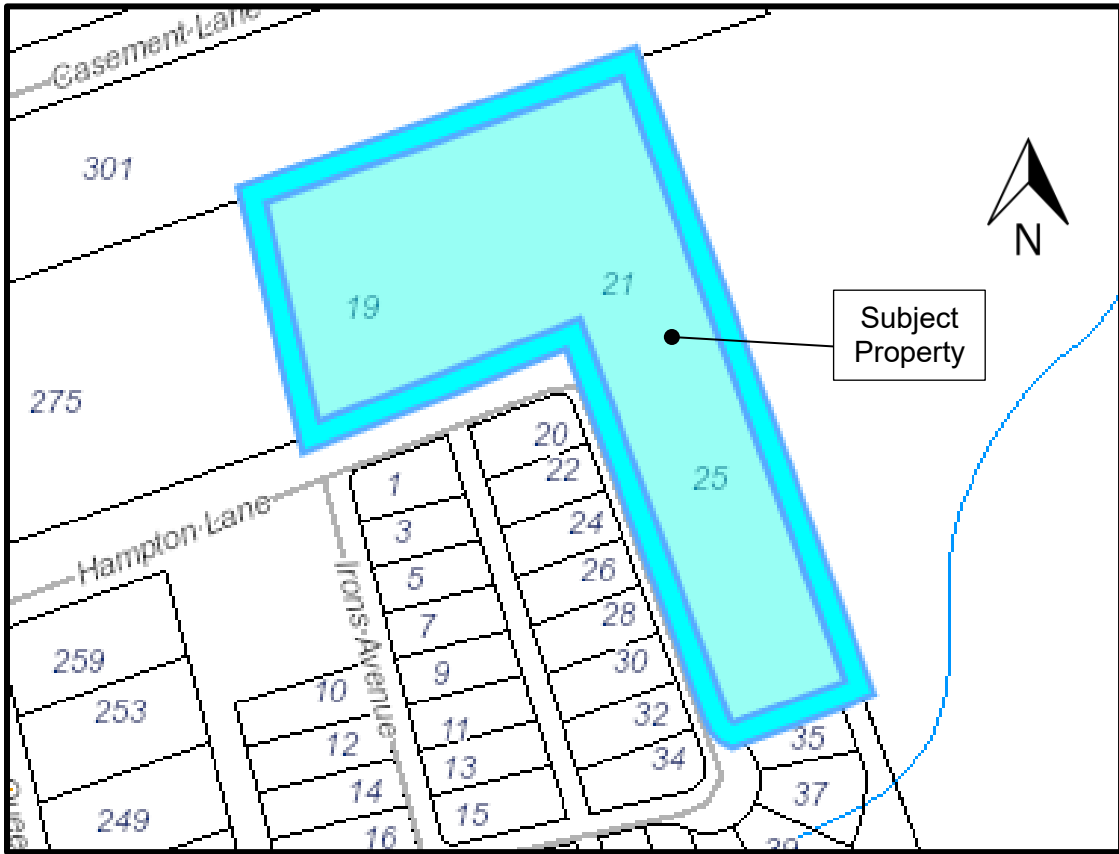
Additional information: relating to the proposed amendment is available on the Township Website www.selwyntownship.ca or by contacting Per Lundberg at 705-292-9507 ext. 220, or planning@selwyntownship.ca. A copy of the report and other relevant information will be posted on the Township's website the week of the Public Hearing.

If a specified person or public body does not make oral submissions at the public hearing or make written submissions to the Committee of Adjustment of the Township of Selwyn before the variance is granted, the specified person or public body may not be entitled to appeal the decision of the Committee of Adjustment of the Township of Selwyn to the Ontario Land Tribunal. Neighbouring property owners are not considered a specified person or public body.

Notification of Decision: If you wish to be notified of the decision of the Committee of Adjustment of the Township of Selwyn on the proposed minor variance(s), you must make written request to the Secretary-Treasurer of the Committee of Adjustment of the Township of Selwyn by mail, fax, email or drop box (see details under written submissions).

Other Applications The subject lands are not subject to any other applications under the *Planning Act*.

Key Map



Candace Massie, Secretary-Treasurer, Committee of Adjustment

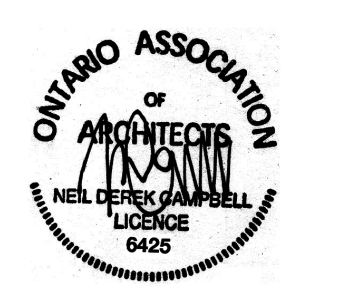
Dated at the Township of Selwyn, Thursday, November 16, 2023.



aside architects
 148 Hunter Street W., #201
 Peterborough, ON, K9H2K8
 1.705.812.2451



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SITE STATISTICS, BUILDING 1
 AS PER R3, 4.11.3.2

LOT AREA [BLDG 1]	2093.2 m ²
DWELLING UNIT LOT MIN ALLOWABLE	270.0m ²
DWELLING UNIT AREA CALCS	2093.2m ² / 7 UNITS = 299.0 m ²
PROPOSED	290.0m ²
COVERAGE	
BUILDING AREA	1186.5 m ²
LOT COVERAGE	56.5 %
ALLOWABLE	40%
PROPOSED	56.5 %
DWELLING UNIT AREA	
MIN ALLOWABLE	84.0 m ²
PROPOSED	199.8 m ²
[DWELLING UNIT AREA MEASURED INSIDE FACE OF WALLS, EXCLUDES MECHANICAL AND GARAGE]	
BUILDING HEIGHT	
BLDG HEIGHT [AVERAGE GRADE TO PEAK OF ROOF]	11.0m
ALLOWABLE	11.0m
PROPOSED	10.9m
SETBACKS	
MIN SETBACK FROM STREET CL	17.5m
ALLOWABLE	17.5m
PROPOSED	N/A
FRONT YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED	7.0m
REAR YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED	10.0m
SIDEYARD SETBACKS	
EXTERIOR	7.5m
ALLOWABLE	4.4m
PROPOSED[EAST]	6.0m
INTERIOR	2.3m
ALLOWABLE	2.3m
PROPOSED[WEST]	4.4m
EAST	4.4m

SPATIAL SEPARATIONS [4.11.3.2.1]
 iii) ALLOWABLE 15.0m
 BETWEEN TWO EXTERIOR WALLS, TWO OF WHICH CONTAIN WINDOWS TO HABITABLE ROOMS
 PROPOSED N/A

ENCROACHMENTS

FRONT PORCH [1.2m TO PROPERTY LINE]	1.5m
PROPOSED	1.4m
REAR DECK [1.2m TO PROPERTY LINE]	1.5m
ALLOWABLE	3.8m
PROPOSED	3.8m
[6.0m TO PROPERTY LINE]	
PARKING	
TOTAL NO DWELLING UNITS	7
PARKING PROVIDED	14
PARKING RATIO	2 PER UNIT

SITE STATISTICS, BUILDINGS 2A / 2B
 AS PER R3, 4.11.3.2
 AS PER R3, 4.11.3.3

LOT AREA [BLDG 2A/2B]	3268.2 m ²
DWELLING UNIT LOT MIN ALLOWABLE	270.0 m ²
4.11.3.3 i) [MID-UNIT]	270.0 m ²
4.11.3.3 ii) [END UNIT]	300.0 m ²
DWELLING UNIT AREA CALCS	3268.2m ² / 13 UNITS = 251.4 m ²
PROPOSED	251.4 m ²
COVERAGE	
BUILDING AREA 2A	1189.6 m ²
BUILDING AREA 2B	745.1 m ²
TOTAL BUILDING AREA	1934.7 m ²
LOT COVERAGE	59.5 %
ALLOWABLE	40%
PROPOSED	59.5 %
LOT COVERAGE	59.2%
DWELLING UNIT AREA	
MIN ALLOWABLE	84.0 m ²
PROPOSED	248.6 m ²
[DWELLING UNIT AREA EXCLUDES BASEMENT STORAGE AND MECHANICAL, AND STORAGE SPACE AT GARAGE]	
BUILDING HEIGHT	
BLDG HEIGHT [AVERAGE GRADE TO PEAK OF ROOF]	11.0m
ALLOWABLE	11.0m
PROPOSED 2A	11.4m
PROPOSED 2B	11.3m
SETBACKS	
MIN SETBACK FROM STREET CL	17.5m
ALLOWABLE	17.5m
PROPOSED	8.5m
FRONT YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED	4.6m
REAR YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED[LOT 1]	6.2m

SIDEYARD SETBACKS

EXTERIOR	7.5m
ALLOWABLE	2.4m
PROPOSED[NORTH]	2.4m
INTERIOR	6.0m
ALLOWABLE	2.4m
PROPOSED[UNITS 8,9]	2.4m
SPATIAL SEPARATIONS [4.11.3.2.1]	
ii) ALLOWABLE	15.0m
BETWEEN TWO EXTERIOR WALLS, TWO OF WHICH CONTAIN WINDOWS TO HABITABLE ROOMS	
PROPOSED	2.6m
ENCROACHMENTS	
FRONT PORCH [1.2m TO PROPERTY LINE]	1.5m
ALLOWABLE	1.4m
PROPOSED	1.4m
[5.3m TO PROPERTY LINE]	
REAR DECK [1.2m TO PROPERTY LINE]	1.5m
ALLOWABLE	3.8m
PROPOSED	3.8m
[3.2m TO PROPERTY LINE]	
PARKING	
TOTAL NO DWELLING UNITS	7
PARKING PROVIDED	14
PARKING RATIO	2 / UNIT

MINOR VARIANCE REQUIREMENTS
 R3 ZONE, TOWNHOUSES

MIN LOT AREA PER DWELLING UNIT	250.0m ²
[ALLOWABLE 270.0m ²]	
BLDG LOT COVERAGE	60%
[ALLOWABLE 40%]	
BLDG HEIGHT	12.0m
ALLOWABLE	11.0m
FRONT YARD SETBACK [TO BLDG FACE]	4.6m
ALLOWABLE	7.5m
REAR YARD SETBACK	4.0m
ALLOWABLE	7.5m
EXT SIDEYD SETBACK	2.4m
ALLOWABLE	7.5m
INT SIDEYD SETBACK	2.3m
ALLOWABLE	6.0m
SPATIAL SEPARATION	2.6m
ALLOWABLE [4.11.3.2.1]	15.0m

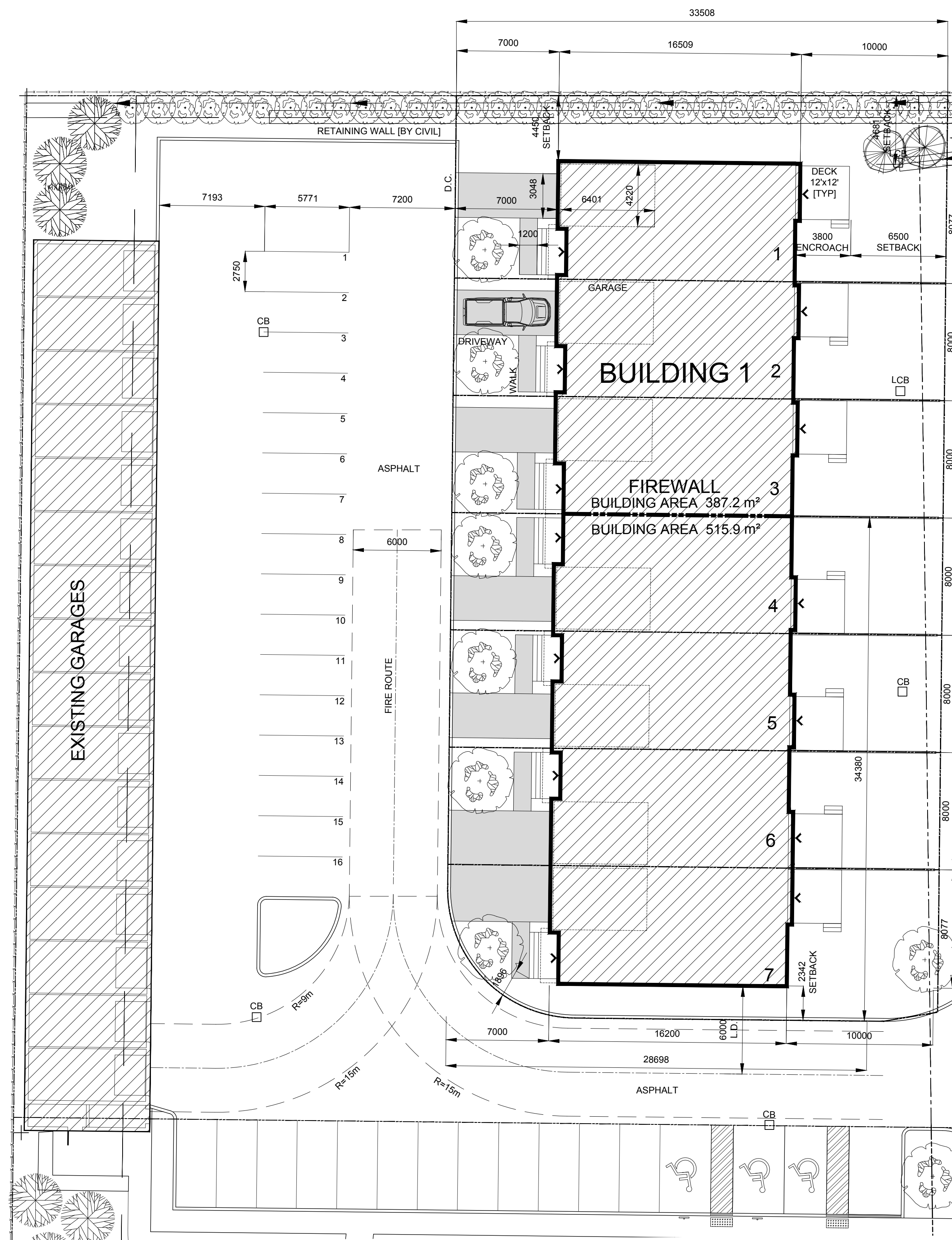
TTT TOWNHOUSES
 238 Queen Street
 Lakefield, ON

mm/dd/yy	description
11/07/23	MV APPLICATION
2	
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SCALE 1:250

SITE PLAN
 MINOR VARIANCE

a 1.0



SITE STATISTICS: BUILDING 1
AS PER R3, 4.11.3.2

LOT AREA [BLDG 1]	2093.2 m ²
DWELLING UNIT LOT MIN ALLOWABLE	270.0m ²
DWELLING UNIT AREA CALCS	2093.2m ² / 7 UNITS = 251.4 m ²
PROPOSED	290.0m ²

COVERAGE	
BUILDING AREA	1186.5 m ²
LOT COVERAGE ALLOWABLE	40%
PROPOSED	56.5 %

DWELLING UNIT AREA	
MIN ALLOWABLE	84.0 m ²
PROPOSED	199.8 m ²
[DWELLING UNIT AREA MEASURED INSIDE FACE OF WALLS, EXCLUDES MECHANICAL AND GARAGE]	

BUILDING HEIGHT	
BLDG HEIGHT [AVERAGE GRADE TO PEAK OF ROOF]	
ALLOWABLE	11.0m
PROPOSED	10.9m

SETBACKS	
MIN SETBACK FROM STREET CL	
ALLOWABLE	17.5m
PROPOSED	N/A

FRONT YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED	7.0 m
REAR YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED	10.0 m

SIDEYARD SETBACKS	
EXTERIOR	
ALLOWABLE	7.5m
PROPOSED[EAST]	4.4m
INTERIOR	
ALLOWABLE	6.0m
PROPOSED[WEST]	2.3m
EAST	4.4 m

SPATIAL SEPARATIONS [4.11.3.2.1]	
ii) ALLOWABLE	15.0m
BETWEEN TWO EXTERIOR WALLS, TWO OF WHICH CONTAIN WINDOWS TO HABITABLE ROOMS	
PROPOSED	N/A

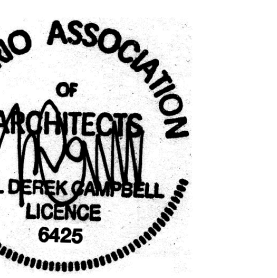
ENCROACHMENTS	
FRONT PORCH	
ALLOWABLE [1.2m TO PROPERTY LINE]	1.5m
PROPOSED [1.8m TO PROPERTY LINE]	1.4m
REAR DECK	
ALLOWABLE [1.2m TO PROPERTY LINE]	1.5m
PROPOSED [6.0m TO PROPERTY LINE]	3.8m

PARKING	
TOTAL NO DWELLING UNITS	7
PARKING PROVIDED	14
PARKING RATIO	2 PER UNIT

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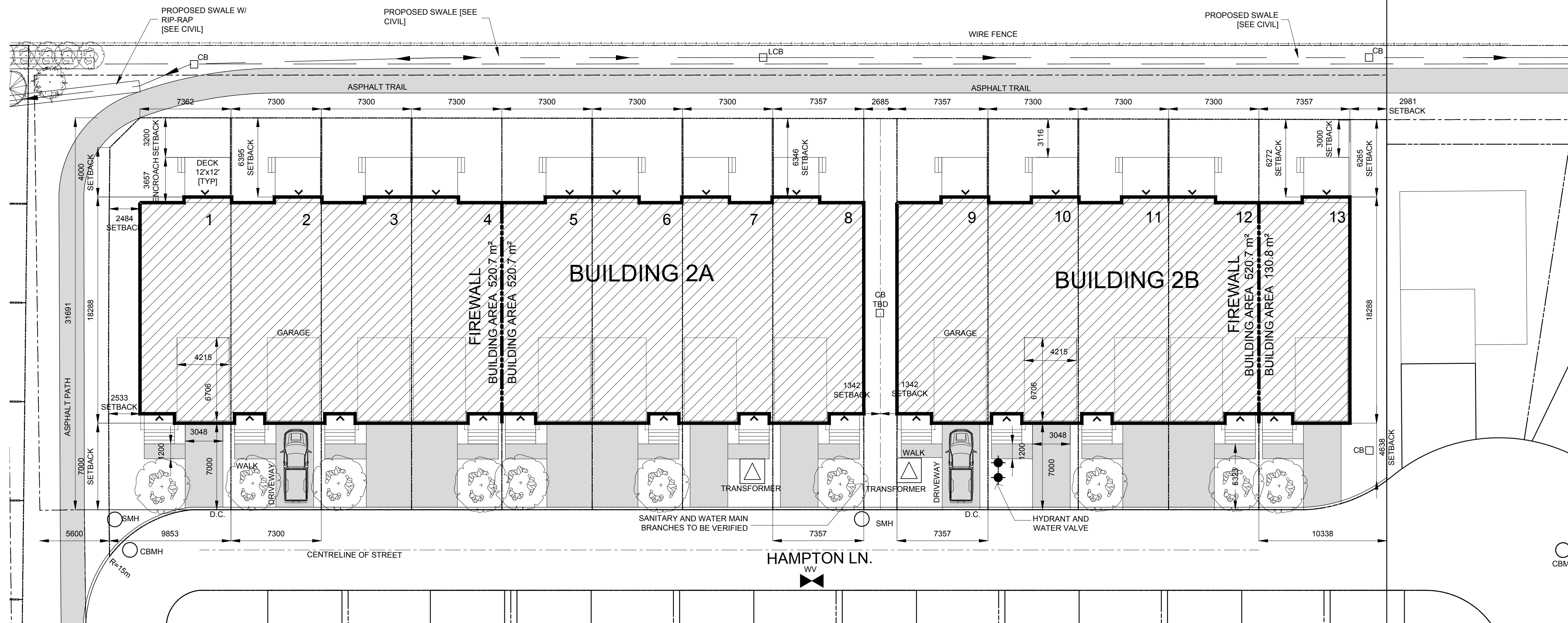
TTT TOWNHOUSES
238 Queen Street
Lakefield, ON

mm/dd/yy	description
1 11/07/23	MV APPLICATION
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SCALE 1:200

SITE PLAN
BUILDING 1

a 1.0.1



SITE STATISTICS: BUILDINGS 2A / 2B
 AS PER R3, 4.11.3.2
 AS PER R3, 4.11.3.3

LOT AREA [BLDG 2A/2B]	3268.2 m ²
DWELLING UNIT LOT MIN ALLOWABLE	
4.11.3.3 i) 1 [MID-UNIT]	270.0 m ²
4.11.3.3 i) 2 [END UNIT]	300.0 m ²
DWELLING UNIT AREA CALCS	
3268.2m ² / 13 UNITS = 251.4 m ²	

COVERAGE	
BUILDING AREA 2A	1189.6 m ²
BUILDING AREA 2B	745.1 m ²
TOTAL BUILDING AREA	1934.7 m ²
LOT COVERAGE	
ALLOWABLE	40%
PROPOSED	59.5 %
LOT COVERAGE	59.2%

DWELLING UNIT AREA	
MIN ALLOWABLE	84.0 m ²
PROPOSED	249.6 m ²
[DWELLING UNIT AREA EXCLUDES BASEMENT STORAGE AND MECHANICAL AND STORAGE SPACE AT GARAGE]	

BUILDING HEIGHT	
BLDG HEIGHT [AVERAGE GRADE TO PEAK OF ROOF]	
ALLOWABLE	11.0m
PROPOSED 2A	11.4m
PROPOSED 2B	11.3m

SETBACKS
 MIN SETBACK FROM STREET CL

ALLOWABLE	17.5m
PROPOSED	8.5m
FRONT YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED	4.6 m
REAR YARD SETBACK	
ALLOWABLE	7.5m
PROPOSED [LOT 1]	6.2 m

SIDEYARD SETBACKS	
EXTERIOR	
ALLOWABLE	7.5m
PROPOSED [NORTH]	2.4m
INTERIOR	
ALLOWABLE	6.0m
PROPOSED [UNITS 8,9]	2.4m

SPATIAL SEPARATIONS [4.11.3.2.1]	
iii) ALLOWABLE	15.0m
BETWEEN TWO EXTERIOR WALLS, TWO OF WHICH CONTAIN WINDOWS TO HABITABLE ROOMS	
PROPOSED	2.6 m

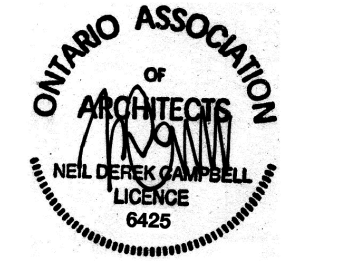
ENCROACHMENTS	
FRONT PORCH	
ALLOWABLE	1.5m
[1.2m TO PROPERTY LINE]	
PROPOSED	1.4m
[5.3m TO PROPERTY LINE]	
REAR DECK	
ALLOWABLE	1.5m
[1.2m TO PROPERTY LINE]	
PROPOSED	3.8m
[3.2m TO PROPERTY LINE]	

PARKING	
TOTAL NO DWELLING UNITS	7
PARKING PROVIDED	14
PARKING RATIO	2./UNIT

aside architects
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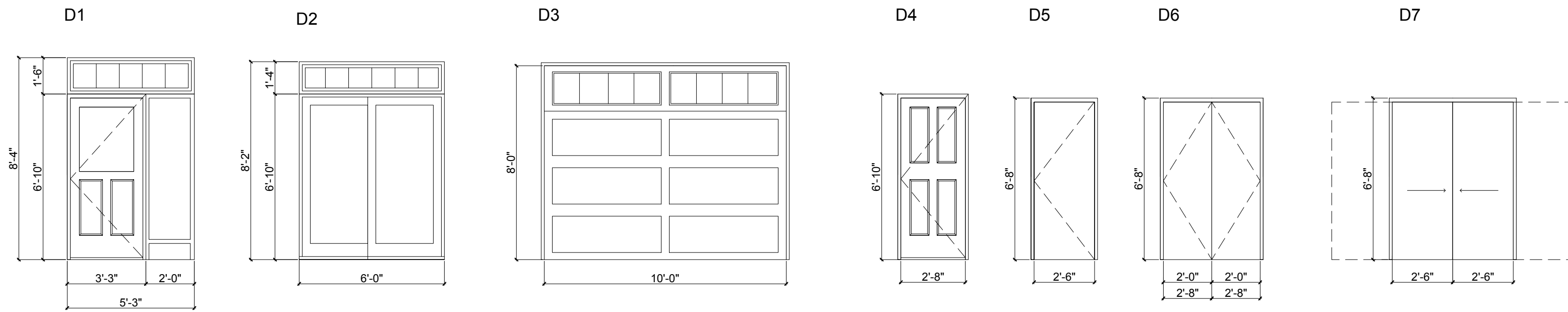
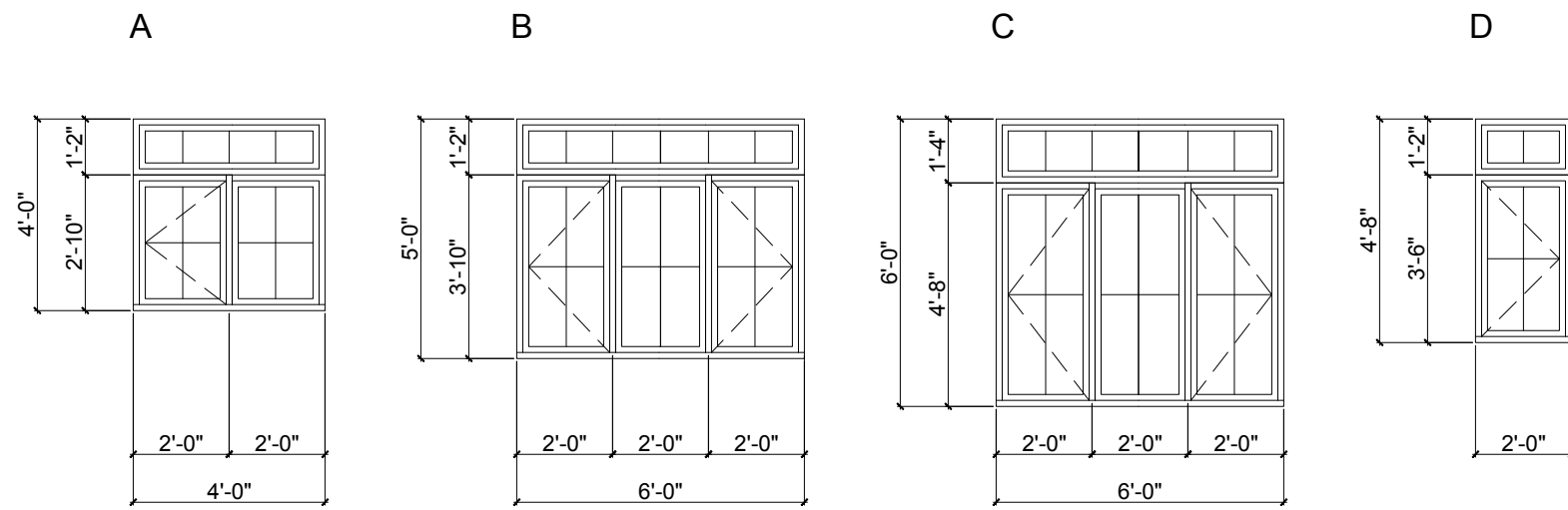
TTT TOWNHOUSES
 238 Queen Street
 Lakefield, ON

mm/dd/yy	description
1 11/07/23	LV APPLICATION
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SCALE 1:200

SITE PLAN
 BUILDINGS 2A, 2B

a 1.0.2



1 WINDOW AND DOOR ELEVATIONS
a 0.2

LEGEND
PT - PAINT FINISH
WD - WOOD
HM - INSULATED HOLLOW METAL
PRE - PREFINISHED BY MANUFACTURER

DOOR SCHEDULE - BUILDING 1 TYPICAL UNIT

FROM	TO	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	FRAME	REMARKS
EXTERIOR	ENTRY	D1	36"	82"	HM	PT	WD	SIDELIGHT SEE TYPE, LOCKSET
EXTERIOR	DINING	D2	72"	82"	VINYL	PRE	VINYL	SLIDING PATIO DOOR HDW BY SUPPLIER
GARAGE	FOYER	D4	32"	82"	HM	PT	WD	VAPOUR TIGHT WEATHER SEALS + CLOSER
EXTERIOR	GARAGE	D3	120"	96"	HM	PRE	WD	INSULATED SECTIONAL OVERHEAD DOOR HDW BY SUPPLIER. +POWER OPERATOR
GARAGE	MECHANICAL	D4	42"	82"	HM	PRE	WD	
LANDING	PWD	D5	30"	80"	WD	PT	WD	PRIVACY SET
FOYER	CLOSET	D6	2-24"	80"	WD	PT	WD	DUMMY SETS WITH HEAVY DUTY ROLLER CATCHES
HALL	BEDROOM	D5	32"	80"	WD	PT	WD	
HALL	BEDROOM	D5	32"	80"	WD	PT	WD	
BEDROOM	CLOSET	D6	2-32"	80"	WD	PT	WD	
BEDROOM	CLOSET	D6	2-32"	80"	WD	PT	WD	
HALL	WC	D5	32"	80"	WD	PT	WD	PRIVACY SET
HALL	LAUNDRY	D5	32"	80"	WD	PT	WD	
HALL	LINEN	D6	2-32"	80"	WD	PT	WD	DUMMY SETS WITH HEAVY DUTY ROLLER CATCHES
HALL	MASTER BEDRM	D5	32"	80"	WD	PT	WD	
MASTER BEDRM.	W.I.C.	D7	2-30"	80"	WD	PT	WD	POCKET DOORS WITH FLUSH HARDWARE

Name of Practice aside architects inc. 148 Hunter St, Suite 201 Peterborough, ON, K9H2K8 p. 705.812.2451 neilcampbell@asidearchitects.ca		Name of Project TTT Holdings, Townhouses	
Location Hampton Lane, Lakefield ON		Location Hampton Lane, Lakefield ON	
Item	Ontario's 2012 Building Code Data Matrix Part 3 or 9	BC Reference References are to Division B unless noted [A] for Div A or [C] for Div C.	
1	Project Description <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use	<input type="checkbox"/> Part 11 <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9	11.1 to 11.4, 1.1.2 [A], 1.1.2 [A] & 9.10.1.3
2	Major Occupancy(s) GROUP C	3.1.2.1 (1)	9.10.2
3	Building Area (m ²) Existing 0.0 New 387.2 Total 387.2 Existing 0.0 New 515.9 Total 515.9	1.4.1.2. [A]	1.4.1.2. [A]
4	Gross Area (m ²) Existing 0.0 New 774.4 Total 774.4 Existing 0.0 New 1031.8 Total 1031.8	1.4.1.2. [A]	1.4.1.2. [A]
5	Number of Storeys Above grade 2 Below grade 0	1.4.1.2. [A] & 3.2.1.1	1.4.1.2. [A] & 9.10.4
6	Number of Streets/Firefighter Access 1	3.2.2.10 & 3.2.5	9.10.20
7	Building Classification GROUP C	3.2.2.20-83	9.10.2
8	Sprinkler System Proposed: <input type="checkbox"/> Entire Building <input type="checkbox"/> Selected Compartments <input type="checkbox"/> Selected Floor Areas <input type="checkbox"/> Basement <input type="checkbox"/> In Lieu of Roof Rating <input checked="" type="checkbox"/> Not Required	3.2.2.20-83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX
9	Standpipe Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.9	N/A
10	Fire Alarm Required <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.4	9.10.18
11	Water Service/Supply is Adequate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7	N/A
12	High Building <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6	N/A
13	Construction Restrictions <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input checked="" type="checkbox"/> Both Permitted	3.2.2.20-83	9.10.6
14	Mezzanine(s) Area (m ²) N/A	3.2.2.10 & 3.2.5	9.10.20
15	Occupant Load based on Basement 1st Floor 2nd Floor 3rd Floor (Additional Floor Areas continued at End)	<input type="checkbox"/> m ² /person <input checked="" type="checkbox"/> design of building Occupancy Load 0 persons Occupancy Load 0 persons Occupancy Load 50/0 persons Occupancy Load 0 persons	3.1.17 9.9.1.3
16	Barrier-free Design <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain)	3.8	N/A
17	Hazardous Substances <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19	9.10.1.3 (4)
18	Required Fire Resistance Rating (FRR) FRR of Horizontal Assemblies Floors 0 hours Roof 0 hours Mezzanine N/A hours FRR of Supporting Members Floors 0 hours Roof 0 hours Mezzanine N/A hours	Listed Design No. or Description (SB-2) 3.2.2.20-83 3.2.1.4 Listed Design No. or Description (SB-2)	9.10.8 9.10.9
19	Spatial Separation - Construction of Exterior Walls Wall Area of EBF (m ²) L.D. (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Comb. Constr. Non-comb. Constr.	3.2.3 9.10.15	9.10.15
BUILDING 1 UNIT 1			
North	51.6	10.7	N/A
South	52.8	10.0	N/A
East	104.1	4.4	N/A
West	N/A	N/A	N/A
NOTE: UNITS 2 THROUGH 6, PARTY WALL EACH SIDE. NORTH AND SOUTH LIMITING DISTANCE 10M ALLOWS UNLIMITED			
19	Spatial Separation - Construction of Exterior Walls Wall Area of EBF (m ²) L.D. (m) L/H or H/L Permitted Max. % of Openings Proposed % of Openings FRR (Hours) Listed Design or Description Comb. Constr. Non-comb. Constr.	3.2.3 9.10.14	9.10.14
BUILDING 1 UNIT 7			
North	51.6	10.7	N/A
South	52.8	10.0	N/A
East	99.3	5.8	N/A
West	N/A	N/A	N/A
20	Plumbing Fixture Requirements Male/Female Count @ ___% / ___% except as noted otherwise Basement 1st Floor 2nd Floor 3rd Floor	Occupant Load BC Table Number Fixtures Required Fixtures Provided	BC Reference <input type="checkbox"/> Part 3 <input checked="" type="checkbox"/> Part 9 9.31.4.1 PER DWELLING UNIT. KITCHEN SINK, LAVATORY, BATHTUB OR SHOWER, WATER CLOSET

SB-12 ANALYSIS

LAKEFIELD ONTARIO
ZONE 1
DEGREE DAYS 4330

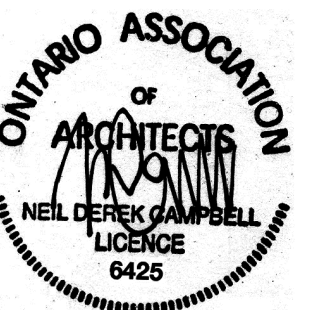
TABLE 3.1.1.2.A FOR >92% AFUE

PRESCRIPTIVE PACKAGE A1	REQUIRED	PROVIDED	ASSEMBLY
CEILING WITH ATTIC	R60	R60	R1
CEILING WITHOUT ATTIC	R31	N/A	N/A
EXPOSED FLOOR	R31	R33	F3
WALLS ABOVE GRADE	R22	R23	EW2
BASEMENT WALLS	R20 CI OR R12+ R10 CI	N/A	N/A
SLAB <500mm BELOW GRADE	R10	R10	F1
WINDOWS AND GLASS DOORS	MAX U(JP) 0.28		
MIN HEATING AFUE	96%		
HRV MIN SRE	75%		
DHWH EF	0.8		

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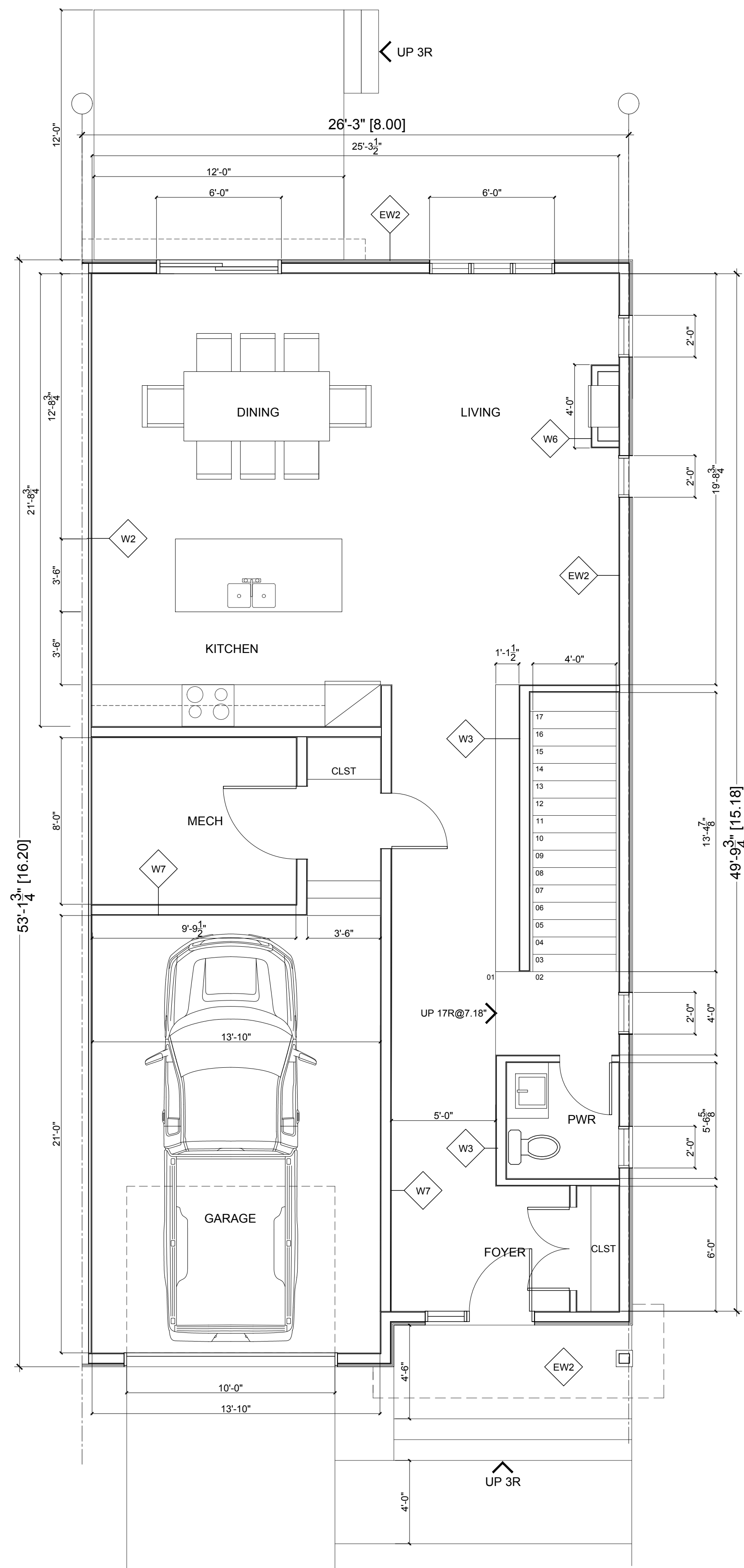


TTT TOWNHOUSES
238 QUEEN ST.
LAKEFIELD, ON

mm/dd/yy	description
11/07/23	MV APPLICATION
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SCALE 1/4"=1'-0"

SCHEDULES

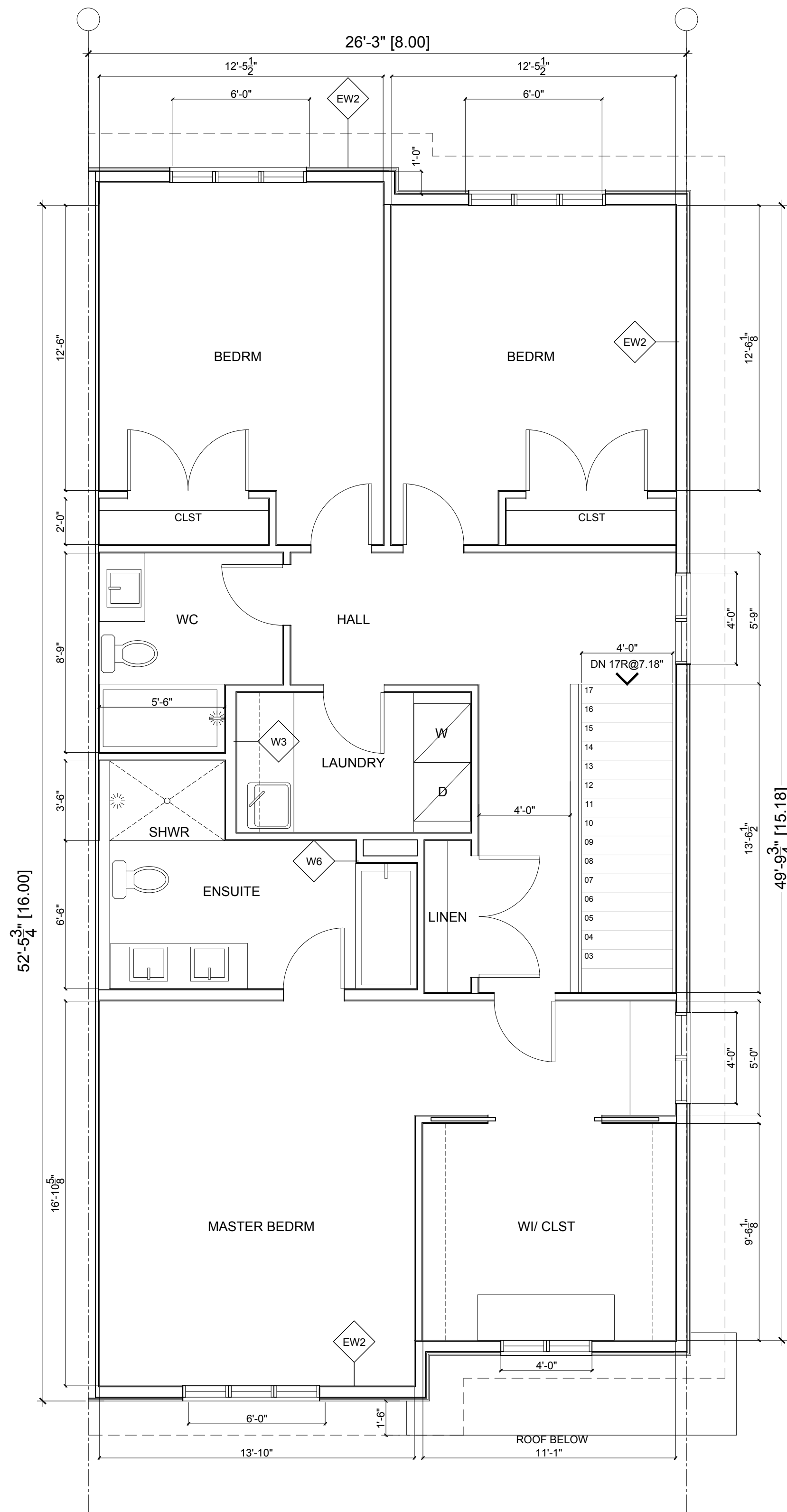


1 GRD FLOOR PLAN END UNIT
a | 1.1.2

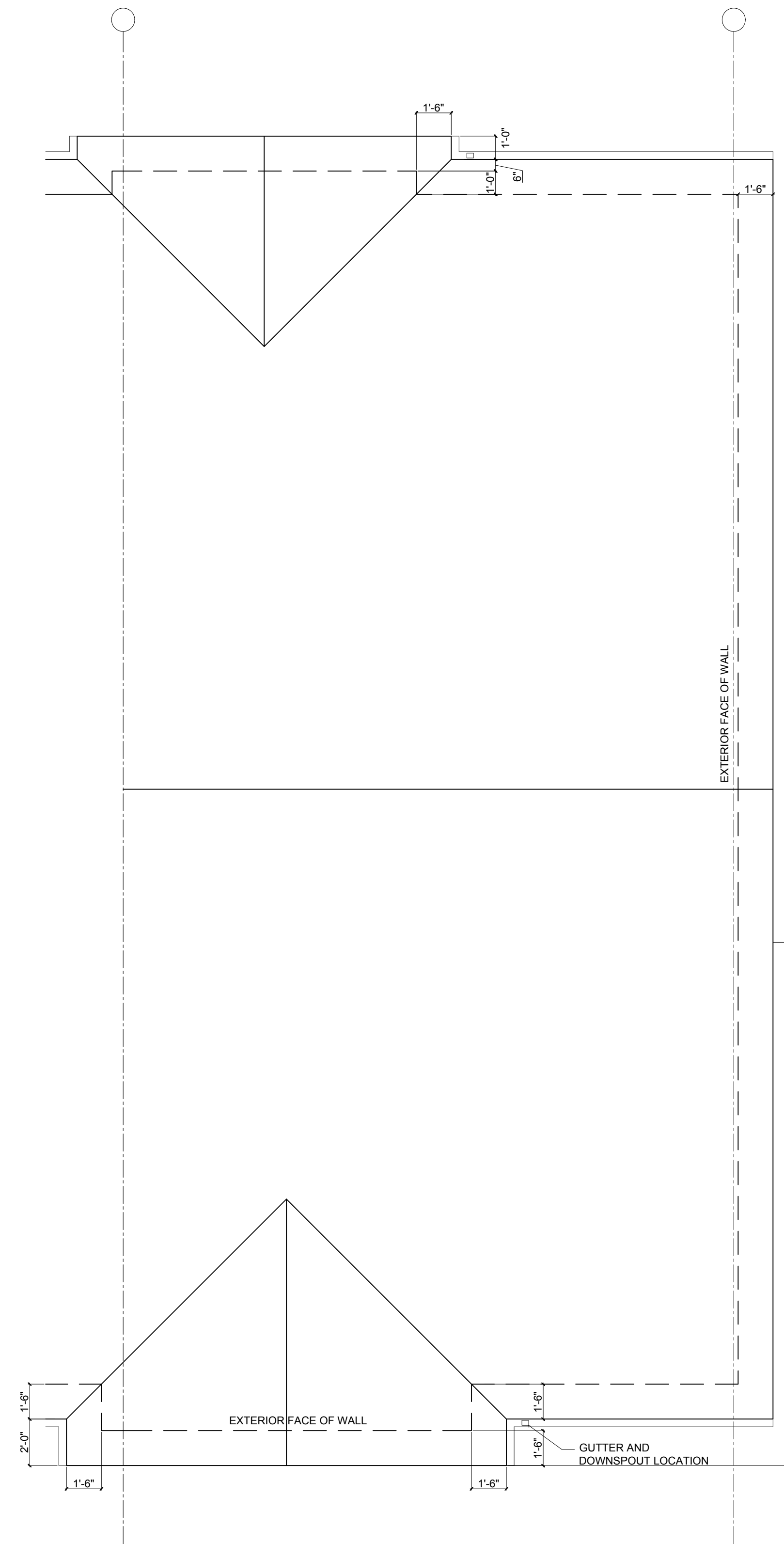
DWELLING UNIT AREA (HABITABLE ROOMS)
TO INTERIOR FACE OF EXTERIOR WALLS
EXCLUDES GARAGE AND MECHANICAL

GND FL 850.2 SF / 78.9 m²
2ND FL 1300.1 SF / 120.8 m²
DWELLING UNIT AREA 2150.3 SF / 199.8 m²

INSULATED
GYPSUM BOARD @
8'-8" ABOVE HOUSE
FINISHED FLOOR



2 2ND FLOOR PLAN END UNIT
a | 1.1.2

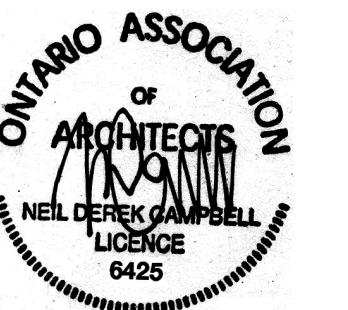


3 ROOF PLAN END UNIT
a | 1.1.2

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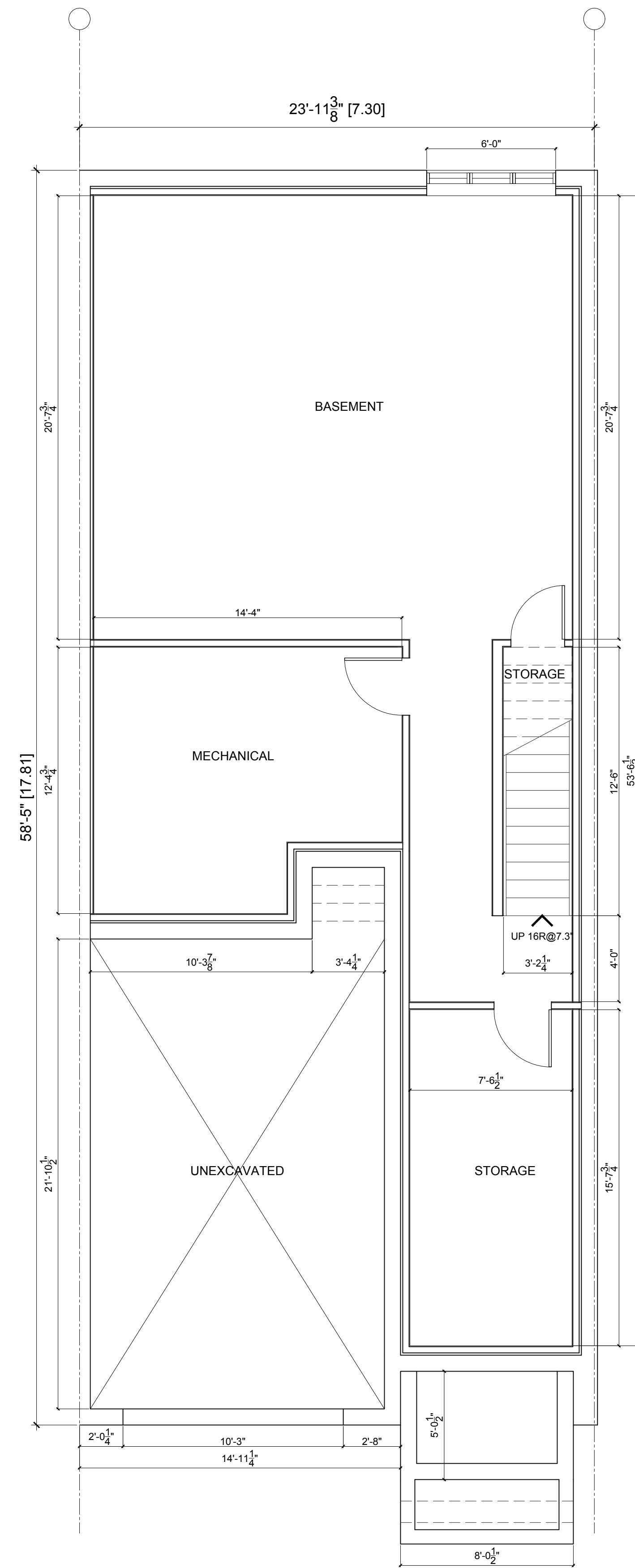
TTT TOWNHOUSES
238 QUEEN ST.
LAKEFIELD, ON

mm/dd/yy	description
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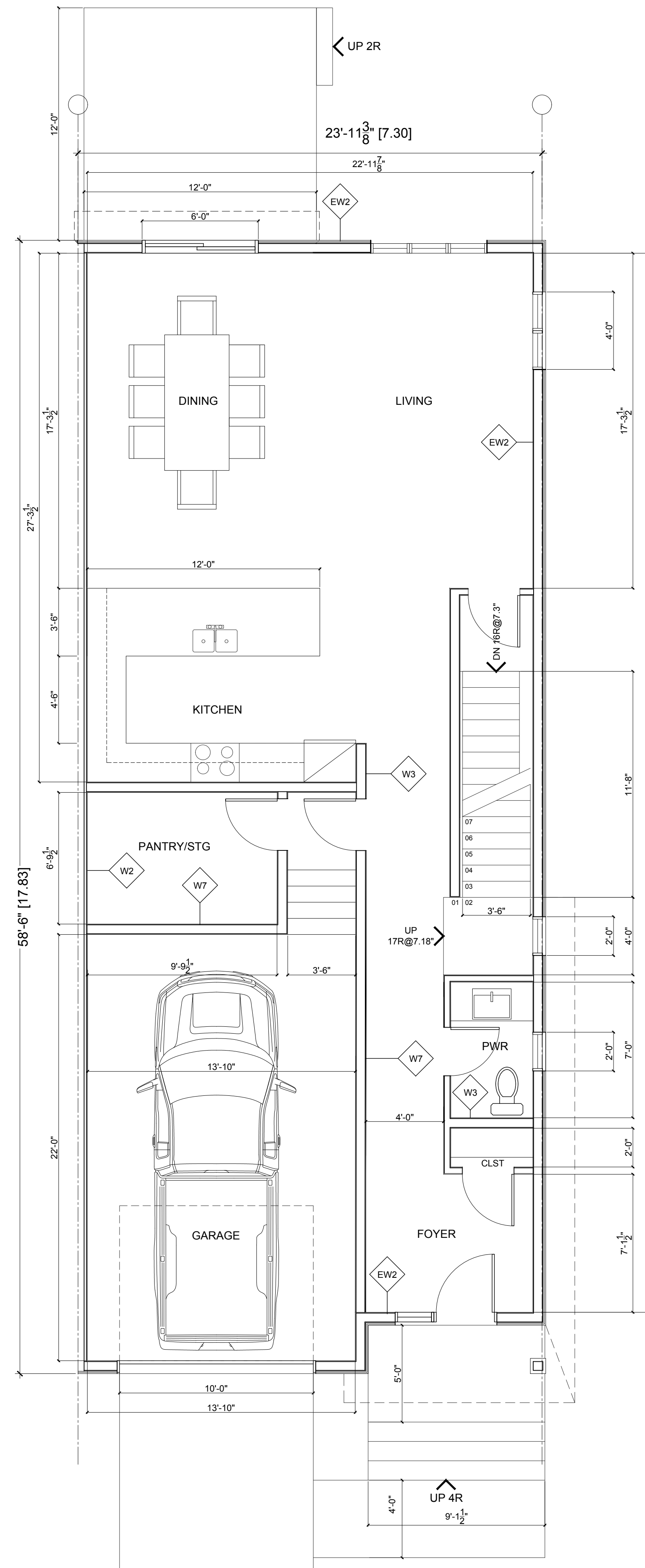
SCALE 1/4"=1'-0"

FLOOR PLANS
BLDG 1 END UNIT

a | 1.1.2



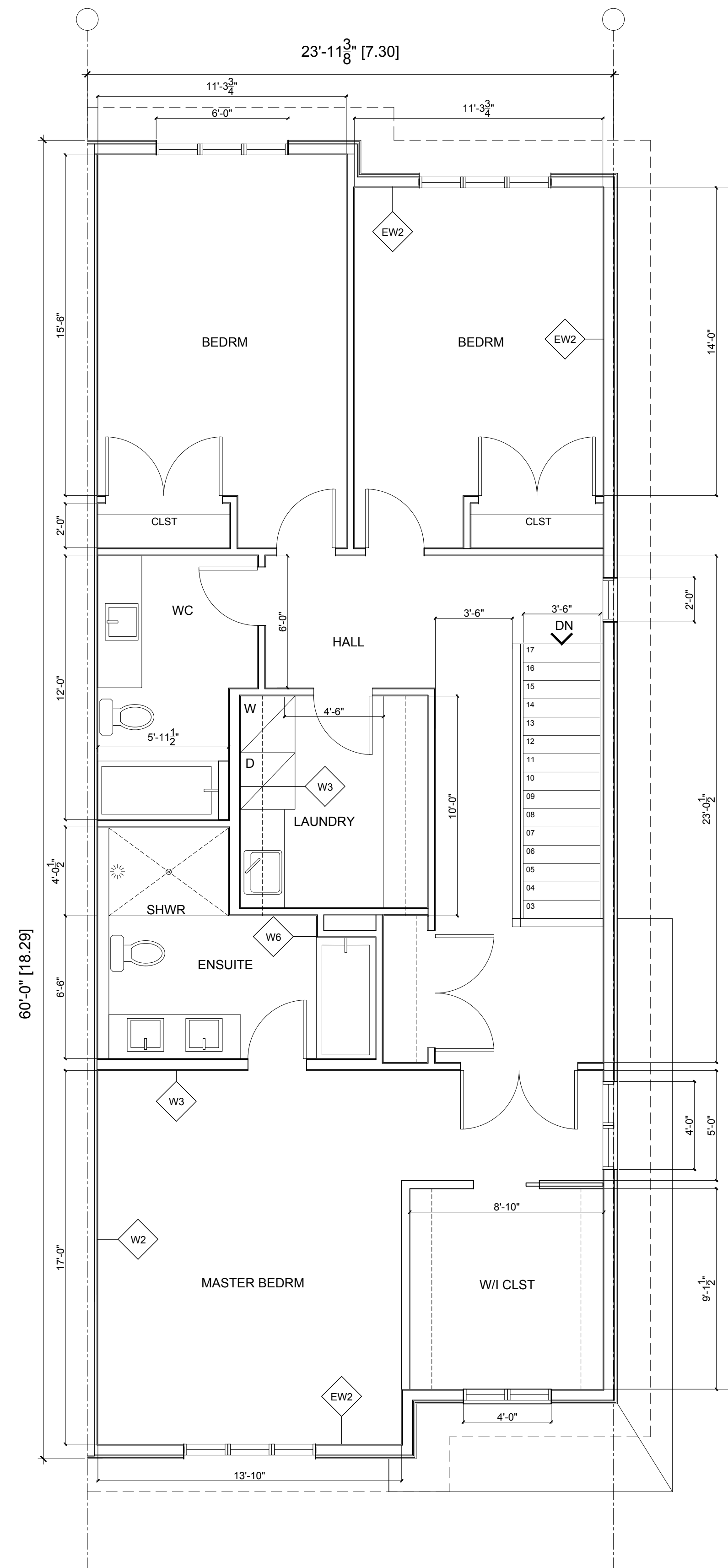
1 BASEMENT PLAN END UNIT
a | 1.1.4



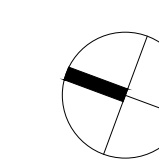
2 GRD FLOOR PLAN END UNIT
a | 1.1.4

DWELLING UNIT AREA (HABITABLE ROOMS)
TO INTERIOR FACE OF EXTERIOR WALLS
EXCLUDES GARAGE AND STORAGE

GND FL 863.5 SF / 80.2 m²
2ND FL 1308.4 SF / 121.5 m²
DWELLING UNIT AREA 2171.9 SF / 201.8 m²



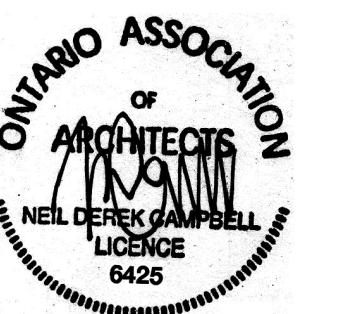
3 2ND FLOOR PLAN END UNIT
a | 1.1.4



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LAKEFIELD, ON

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1 11/07/23	MV APPLICATION
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SCALE 1/4"=1'-0"

FLOOR PLANS
BLDG 2A, 2B END

a 1.1.4



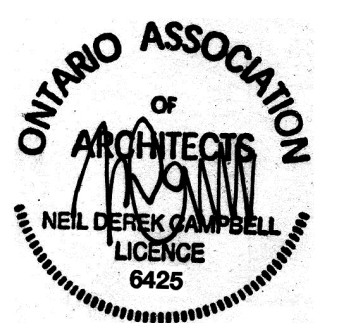
1 NORTH ELEVATION
a 2.1.1 FRONT

2 SOUTH ELEVATION
a 2.1.1 REAR

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LAKEFIELD, ON

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SCALE 1/4"=1'-0"

ELEVATIONS
BLDG 1

a 2.1.1



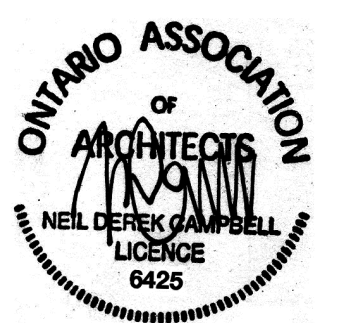
1 WEST ELEVATION
a 2.1.2 FRONT

2 EAST ELEVATION
a 2.1.2 REAR

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LAKEFIELD, ON

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1	11/07/23, MV APPLICATION
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SCALE 1/4"=1'-0"

ELEVATIONS
BLDG 2A

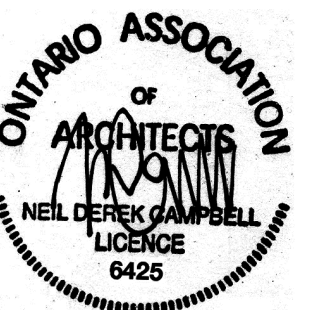
a 2.1.2



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 LAKEFIELD, ON

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1 11/07/23	MV APPLICATION
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SCALE 1/4"=1'-0"

ELEVATIONS
 BLDG 2B

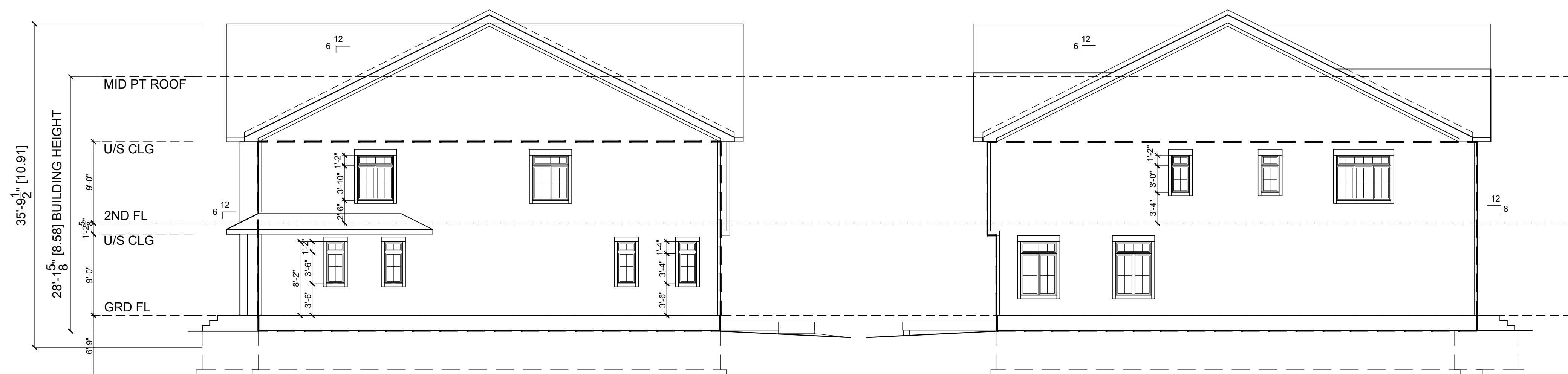
a 2.1.3



1 NORTH ELEVATION
a | 2.2.1 | FRONT



2 SOUTH ELEVATION
a | 2.2.1 | REAR



3 WEST ELEVATION
a | 2.2.1 |

AEBF = 1069.2 SF / 99.3 m²
LIMITING DISTANCE 5.8m / 19'-2 1/2"
UPO @ 5.8m 22% INTERPOLATED
ALLOWED 235.2 SF / 21.8 m²
82.6 SF / 7.7 m² PROVIDED 8%

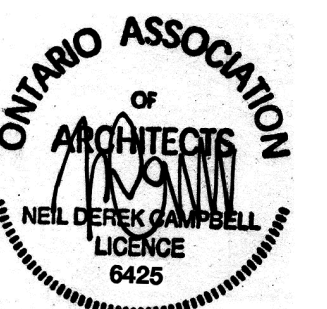
4 EAST ELEVATION
a | 2.2.1 |

AEBF = 1120.3 SF / 104.1 m²
LIMITING DISTANCE 4.4m / 14'-7 1/2"
UPO @ 4.4m 13.4% INTERPOLATED
ALLOWED 150.1 SF / 13.9 m²
94.6 SF / 8.8 m² PROVIDED 8%

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LAKEFIELD, ON

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SCALE 1/8"=1'-0"

ELEVATIONS
BLDG 1

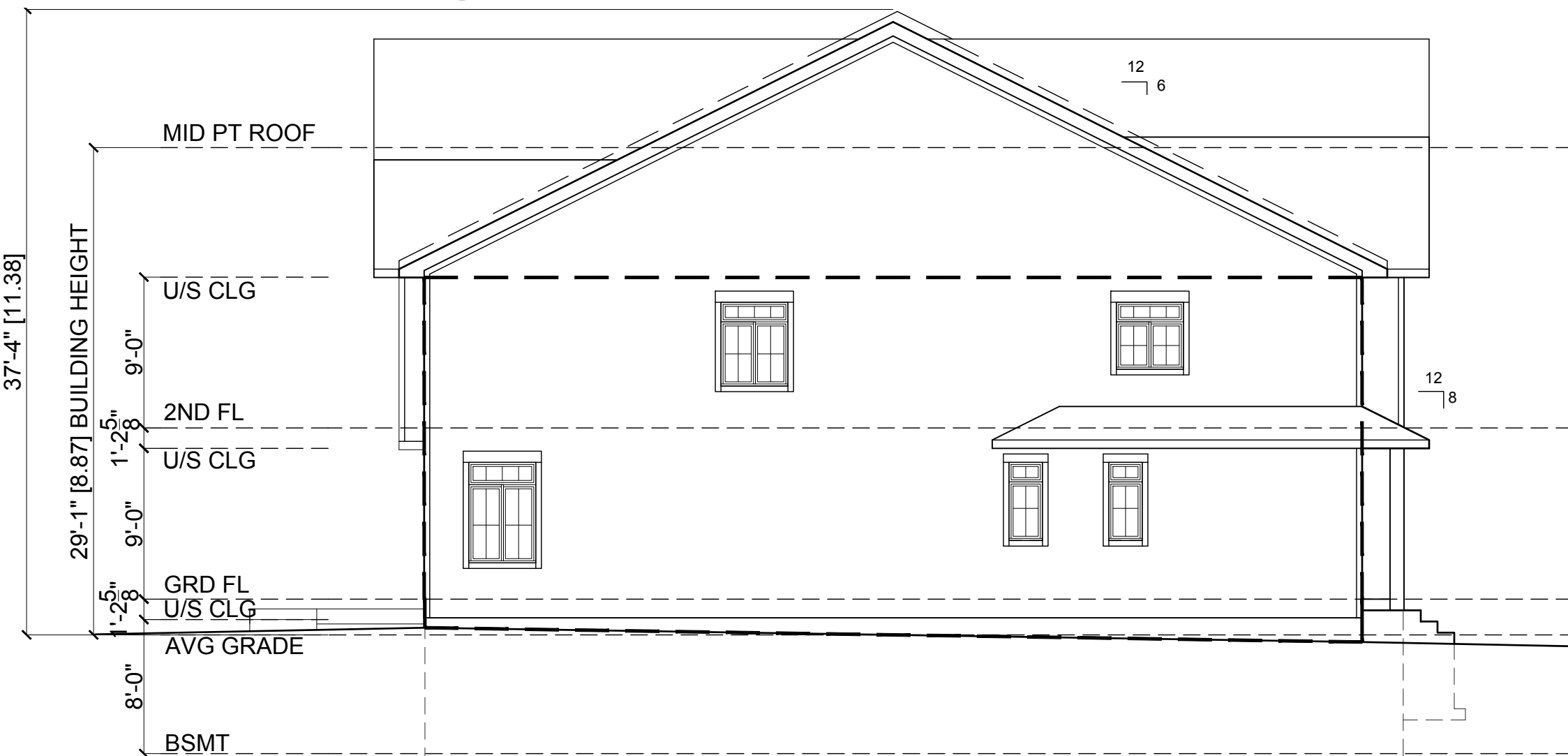
a | 2.2.1 |



1 WEST ELEVATION
a | 2.2.2 FRONT

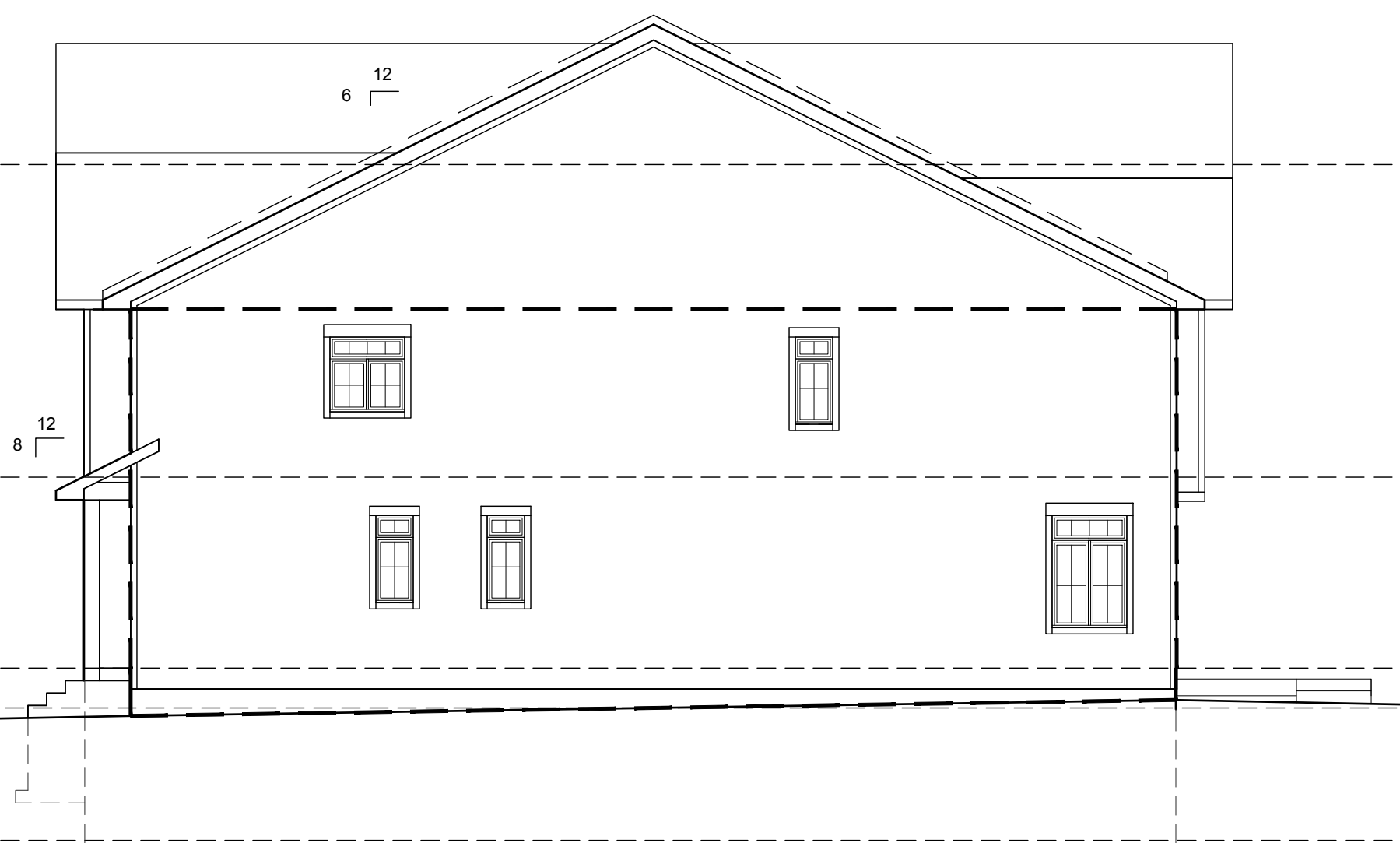


2 EAST ELEVATION
a | 2.2.2 REAR



3 NORTH ELEVATION
a | 2.2.2

AEBF = 1194.4 SF / 111.0 m²
LIMITING DISTANCE 2.4m / 8'-1 1/2"
UPO @ 2.4m 8.8% INTERPOLATED
ALLOWED 105.1 SF / 9.8 m²
PROVIDED 78.7 SF / 7.3 m²



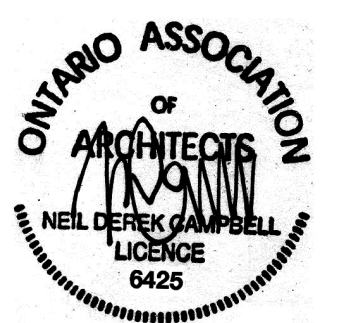
4 SOUTH ELEVATION
a | 2.2.2

AEBF = 1194.4 SF / 111.0 m²
LIMITING DISTANCE 1.3m / 4'-4 3/4"
UPO @ 1.3m 7%
ALLOWED 83.6 SF / 7.8 m²
PROVIDED 68.0 SF / 6.3 m²

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SCALE 1/8"=1'-0"

ELEVATIONS
BLDG 2A

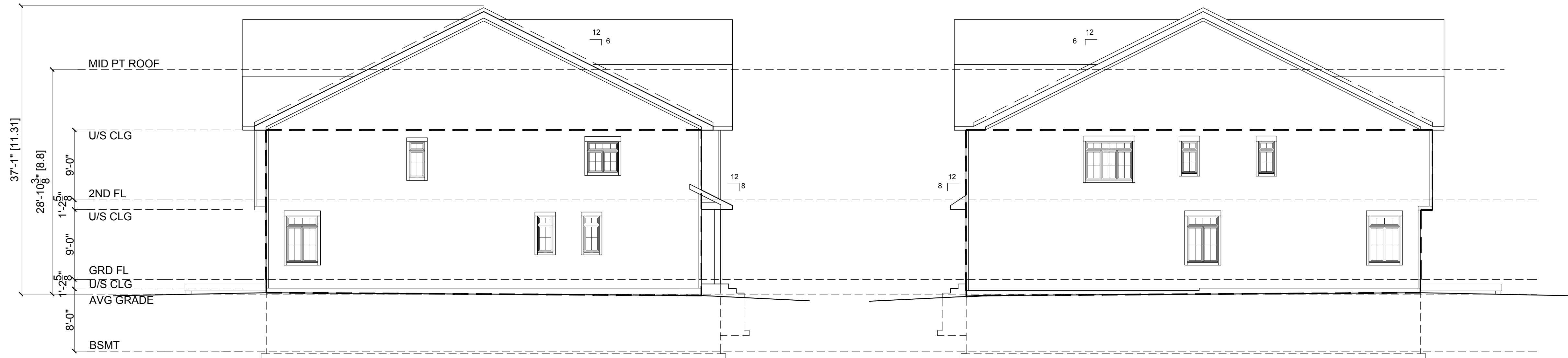
a | 2.2.2



1 WEST ELEVATION
a | 2.2.3 FRONT



2 EAST ELEVATION
a | 2.2.3 REAR



3 NORTH ELEVATION
a | 2.2.3

AEBF = 1191.8 SF / 109.8 m²
LIMITING DISTANCE 1.3m / 4'-4 3/4"
UPO @ 1.3m 7%
ALLOWED 82.7 SF / 7.7 m²
PROVIDED 78.7 SF / 7.3 m²

4 SOUTH ELEVATION
a | 2.2.3

AEBF = 1250.6 SF / 116.2 m²
LIMITING DISTANCE 2.9m / 9'-9 1/4"
UPO @ 2.9m 9.8% INTERPOLATED
ALLOWED 122.6 SF / 11.4 m²
PROVIDED 68.0 SF / 6.3 m²

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SCALE 1/8"=1'-0"

ELEVATIONS
BLDG 2B

a 2.2.3