



Township of Douro-Dummer Agenda for a Regular Meeting of Council

Tuesday, April 21, 2026, 5:00 p.m.
Council Chambers in the Municipal Building

Please note, that Council may, by general consensus, change the order of the agenda, without prior notification, in order to expedite the efficiency of conducting business.

Hybrid Meetings

Regular and Special meetings of Council are being held in person with an option for electronic participation. Regular Meetings are recorded and live-streamed on the Township YouTube channel, if live-streaming is not available the recording will be posted as soon as possible. Special Meetings will be recorded and live-streamed where feasible.

To watch the meeting please attend in person. To watch the live-stream or access a recording please visit the Township's YouTube Channel <https://www.youtube.com/channel/UCPpzm-uRBZRDjB89o2X6R> A

Please contact the Clerk if you require an alternative method to attend the meeting or access the meeting agenda. mchaithartwig@dourodummer.ca or 705-652-8392 x 210

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3. Moment of Silent Reflection
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5. Adoption of Agenda: April 21, 2026
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15.1 Anonymous Correspondence (Deputy Mayor Nelson)

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Watt

Whereas the Township of Douro-Dummer Strategic Plan states that our core values are fiscal responsibility, transparency, service excellence and environment; and

Whereas the Township aims to use its resources in an efficient and effective manner to deliver services to the community; and

Whereas correspondence and requests from anonymous sources require Township resources to respond without confirmation that they are from real persons; and

Whereas Tribunals Ontario and various Courts do not accept anonymous complaints and correspondence; and

Whereas Council members must abide by the Municipal Conflict of Interest Act and state whether they have direct or indirect pecuniary interest in a matter before Council; and

Whereas the Township of Douro-Dummer Procedural By-law Section 6.2 states that all written submissions shall be signed or contain a digital signature by the person who wishes to make a comment; and

Be it resolved that Council direct staff to prepare an amendment to Section 6.2 of the Procedural By-law to reject all anonymous correspondence; and

Further that all requests for service or correspondence to staff and Council must be requested or submitted by a named person(s).

16. Announcements:

17. Closed Session:

The Council will be going into Closed Session for the following reasons under Section 239 (2) and (3) of the Municipal Act, 2001, S.O. 2001, c. 25:

(c) a proposed or pending acquisition or disposition of land by the municipality or local board; (Lease of Land)

(i) a trade secret or scientific, technical, commercial, financial or labour relations information, supplied in confidence to the municipality or local board, which, if disclosed, could reasonably be expected to prejudice significantly the competitive position or interfere significant with the contractual or other negotiations of a person, group of persons, or organization (Third-party Trade Secrets) (Potential Energy Project)

17.1 Committee of the Whole - Closed Session Minutes - April 15, 2026

18. Rise from Closed Session with or without a Report

19. Matters Arising from Closed Session

20. Confirming By-law: 2026-17

485

21. Next Meeting

May 5, 2026 - Regular Council Meeting

22. Adjournment

Minutes of the Regular Meeting of Council of the Township of Douro-Dummer

**April 7, 2026, 5:00 PM
Council Chambers in the Municipal Building**

Member Present: Mayor Heather Watson
Deputy Mayor Harold Nelson
Councillor Thomas Watt
Councillor Ray Johnston
Councillor Shelagh Landsmann

Staff Present: C.A.O. - Todd Davis
Clerk - Deputy C.A.O. - Martina Chait-Hartwig
Treasurer - Stacy Grenier
Manager of Public Works - Jake Condon
Corporate Services Assistant – Eva Baldi

1. Call to Order

With a quorum of Council being present, the Mayor called the meeting to order at 5:02 p.m.

2. Land Acknowledgement

The Mayor recited the Land Acknowledgement.

3. Moment of Silent Reflection

Council observed a moment of silent reflection.

4. Disclosure of Pecuniary Interest:

The Mayor reminded members of Council of their obligation to declare any pecuniary interest they might have. None were declared.

5. Adoption of Agenda: April 7, 2026

Resolution Number 104-2026

Moved by: Councillor Johnston

Seconded by: Councillor Landsmann

That the agenda for the Regular Council Meeting, dated April 7, 2026, be adopted, as circulated.

Carried

6. Adoption of Minutes and Business Arising from the Minutes

6.1 Special Council Meeting Minutes - March 17, 2026

Resolution Number 105-2026

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Watt

That the Minutes from the Special Council meeting held on March 17, 2026, be received and approved.

Carried

6.2 Regular Council Meeting Minutes - March 17, 2026

Resolution Number 106-2026

Moved by: Councillor Johnston

Seconded by: Deputy Mayor Nelson

That the Minutes from the Regular Council meeting held on March 17, 2026, be received and approved.

Carried

7. Consent Agenda (Reports voted upon by ONE motion) - No Debate

7.1 Peterborough County Council Meeting Minutes - March 4, 2026

7.2 Municipal Appraisal Form (MAF) for Severance File B-97-25A

7.3 City of Peterborough - Notice of Complete Application and Public Meeting - ZBA File Number: Z2511 - 349 Parkhill Road East

7.4 County of Peterborough - By-law to Appoint Area Weed Inspectors

7.5 Carleton University - Survey of Lakefront Property Owners

7.6 Lakelands Public Health

7.6.1 Position Statement - Local Consumption and Treatment Services Site Expected to Close as Funding Ends

7.6.2 Media Advisory - Residents Invited to Shape Future of Public Health at Local Town Halls

7.7 Ministry of Municipal Affairs and Housing - Building Homes and Improving Transportation Infrastructure Act, 2026, (Bill 98).

Resolution Number 107-2026

Moved by: Councillor Watt

Seconded by: Councillor Landsmann

That the Consent Agenda for April 7, 2026, be received. Carried

8. Delegations, Petitions, Presentations or Public Meetings:

8.1 Delegation - Ian Beck and Dee Dee Eustace - Request for Wanakuen Charity Music Festival Suspension

Resolution Number 108-2026

Moved by: Councillor Landsmann

Seconded by: Deputy Mayor Nelson

That the delegation from Ian Beck and Dee Dee Eustace regarding a request for the suspension of the Wanakuen Charity Music Festival be received with thanks. Carried

8.2 Delegation - Adrian VandenBroek - Concerns regarding the Closure of Safe Injection Sites

Resolution Number 109-2026

Moved by: Councillor Landsmann

Seconded by: Councillor Johnston

That the delegation from Adrian VandenBroek regarding concerns with the closure of safe injection sites be received with thanks; that staff request MPP Dave Smith provide information on the closures and new services; and that the information be presented to Council for review and possible action. Carried

9. Public Comment Period - No Debate or Decision

9.1 Registered List of Speaker for Public Comment Period

Peter Leahy – Item 11.2 Mayor Watson – Memo to Council – Response to Recent Constituent Inquiries

10. Staff Reports

10.1 2024 Audit Action Plan - Treasurer-2026-09

Resolution Number 110-2026

Moved by: Councillor Watt

Seconded by: Councillor Landsmann

That the report Treasurer-2026-09, dated April 7, 2026 regarding the Action Plan to complete the 2024 Audit and the Target Date for the Presentation of the 2024 Audited Financial Statements be received, that Council endorses the action plan (including milestones, assigned responsibilities, external resource requirements, and target dates) to complete the 2024 audit; and further that the Treasurer provide written progress updates to Council monthly until the 2024 Audit is completed and the audited financial statements are presented to Council with thanks.

Carried

10.2 Ombudsman Report - Closed Meeting Investigation - Various Meetings - Clerk's Office-2026-08

Resolution Number 111-2026

Moved by: Councillor Johnston

Seconded by: Deputy Mayor Nelson

That the report Clerk's Office-2026-08, dated April 7, 2026, regarding an Ombudsman Investigation Report dated March 2026 be received and published on the Township website.

Carried

10.3 Update to Policy C1 - Criminal Record Check Policy Update - Clerk's Office-2026-09

Resolution Number 112-2026

Moved by: Councillor Johnston

Seconded by: Councillor Landsmann

That the report Clerk's Office-2026-09, dated April 7, 2026, regarding an update to Policy C-1 — Criminal Record Check, be received, that the draft updates to the Policy be approved and that the Township Policy Manual be updated accordingly. Carried

10.4 Update to the Delegation of Powers and Duties By-law - Clerk's Office-2026-10

Resolution Number 113-2026

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Landsmann

That the report Clerk's Office-2026-10, dated April 7, 2026, regarding an update to the Delegation of Powers and Duties By-law be received and that the draft By-law be approved at the appropriate time during the meeting. Carried

10.5 Council Renumeration Report 2026 - 2030 - C.A.O.-2026-10

Resolution Number 114-2026

Moved by: Councillor Watt

Seconded by: Deputy Mayor Nelson

That the report C.A.O.-2026-10, dated April 7, 2026, regarding compensation be received; and that the Council Renumeration By-law be amended to as follows:

- Each Councillor shall receive at the beginning of the term, a laptop or similar device which they will be able to keep after IT have review and removed all Township data.

- That cell phones for Council Members be removed from the By-law.
- That the amended Council Renumeration By-law be brought back to Council at a future meeting for review approval. Carried

Resolution Number 115-2026

Moved by: Councillor Johnston

Seconded by: Councillor Landsmann

That staff bring a report to Council regarding the useful life of the current Council laptops. Carried

10.6 Response to March 3, 2026, Delegation - C.A.O.-2026-11

Resolution Number 116-2026

Moved by: Councillor Johnston

Seconded by: Councillor Watt

That the report C.A.O.-2026-11, dated April 7, 2026 presented a response to the delegation from R. Taylor given at the March 3, 2026, Council meeting regarding the Joint Public Works – Fire Station project be received for information. Carried

11. Committee Minutes and Other Reports:

11.1 Committee of Adjustment Meeting Minutes - March 12, 2026

Resolution Number 117-2026

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Landsmann

That the Minutes from the Committee of Adjustment Meeting held on March 12, 2026, be received. Carried

11.2 Mayor Watson - Memo to Council - Response to Recent Constituent Inquiries

Resolution Number 118-2026

Moved by: Councillor Landsmann
Seconded by: Councillor Johnston

That the memo to Council from Mayor Watson, dated April 7, 2026 regarding a response to recent constituent inquiries be received. Carried

11.3 Tony Fleming, Integrity Commissioner, Cunningham Swan Carty Little & Bonham LLP - Annual Report 2025

Resolution Number 119-2026

Moved by: Deputy Mayor Nelson
Seconded by: Councillor Johnston

That the 2025 Annual Report from Integrity Commissioner, Tony Fleming be received. Carried

12. Correspondence – Action Items:

12.1 Otonabee Region Conservation Authority - Seeking Support for Re-Appointment of Municipal Representatives

Resolution Number 120-2026

Moved by: Councillor Watt
Seconded by: Deputy Mayor Nelson

That the letter seeking support for the re-appointment of municipal representatives from Otonabee Region Conservation Authority be received, and that the re-appointment Bonnie Clark and Lori Burt as municipal representatives be supported. Carried

12.2 Eastern Ontario Wardens' Caucus (EOWC)

12.2.1 Response to the 2026 Ontario Budget

12.2.2 Resolution regarding opposition to ALTO High-Speed Rail Project in its Current Form

Resolution Number 121-2026

Moved by: Councillor Johnston

Seconded by: Councillor Watt

That the items from the Eastern Ontario Wardens' Caucus (EOWC), the first being a response to the 2026 Ontario Budget and the second being a Resolution regarding opposition to ALTO High-Speed Rail Project in its current form, both be received and supported. Carried

12.3 Township of Otonabee-South Monaghan - Letter of Support to Rideau Lakes regarding Alto High Speed Rail Project Concerns

Resolution Number 122-2026

Moved by: Councillor Watt

Seconded by: Councillor Landsmann

That the letter from the Township of Otonabee-South Monaghan supporting the Rideau Lakes Resolution regarding Alto High Speed Rail Project and various concerns be received and supported. Carried

12.4 Northumberland County - Resolution regarding Support for Town of Cobourg's 'Elbows Up for Climate Action'

Resolution Number 123-2026

Moved by: Councillor Johnston

Seconded by: Councillor Landsmann

That the Resolution from Northumberland County regarding Support for Town of Cobourg's 'Elbows Up for Climate Action' be received. Carried

12.5 Ontario Energy Board - Notice of Hearing - Generic Review of the Model Franchise Agreement for Natural Gas

Resolution Number 124-2026

Moved by: Councillor Johnston

Seconded by: Deputy Mayor Nelson

That the Notice of Hearing from the Ontario Energy Board regarding a generic review of the Model Franchise Agreement for natural gas be received.

Carried

13. By-laws:

13.1 By-law 2026-14 - Being a By-Law to Provide for The Paying of An Annual Allowance to the Members of Council and to repeal By-law 2022-37 (Council Remuneration By-law) – **Deferred**

13.2 By-law 2026-15 - Being a By-law to Delegate Certain Powers of Council and repeal By-law 2022-14, as amended (Delegation of Powers and Duties By-law)

Moved by: Councillor Landsmann

Seconded by: Councillor Watt

That By-law 2026-15 being a By-law to Delegate Certain Powers of Council and repeal By-law 2022-14, as amended (Delegation of Powers and Duties By-law) be passed, in open Council this 7th day of April 2026 and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto.

Carried

14. Reports derived from previous Notice of Motions: None

15. Notices of Motion

15.1 Anonymous Correspondence (Deputy Mayor Nelson)

Motion

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Watt

Whereas the Township of Douro-Dummer Strategic Plan states that our core values are fiscal responsibility, transparency, service excellence and environment; and

Whereas the Township aims to use its resources in an efficient and effective manner to deliver services to the community; and

Whereas correspondence and requests from anonymous sources require Township resources to respond without confirmation that they are from real persons; and

Whereas Tribunals Ontario and various Courts do not accept anonymous complaints and correspondence; and

Whereas Council members must abide by the Municipal Conflict of Interest Act and state whether they have direct or indirect pecuniary interest in a matter before Council; and

Whereas the Township of Douro-Dummer Procedural By-law Section 6.2 states that all written submissions shall be signed or contain a digital signature by the person who wishes to make a comment; and

Be it resolved that Council direct staff to prepare an amendment to Section 6.2 of the Procedural By-law to reject all anonymous correspondence; and

Further that all requests for service or correspondence to staff and Council must be requested or submitted by a named person(s).

16. Announcements:

Councillor Johnston – Thanks to all that came out for the Township of Douro-Dummer 2026 Easter Egg Hunt at the Douro Park.

St. Joseph's Knight of Columbus will host a breakfast at the Douro Hall on Sunday, April 12.

17. Closed Session:

Resolution Number 125-2026

Moved by: Councillor Watt

Seconded by: Deputy Mayor Nelson

That Council move into Closed Session at 6:58 p.m. for the following reasons under Section 239 (2) and (3) of the Municipal Act, 2001, S.O. 2001, c. 25:

(2)(k) a position, plan, procedure, criteria or instruction to be applied to any negotiations carried on or to be carried on by or on behalf of the municipality or local board; (waste management)

(2)(i) a trade secret or scientific, technical, commercial, financial or labour relations information, supplied in confidence to the municipality or local board, which, if disclosed, could reasonably be expected to prejudice significantly the competitive position or interfere significant with the contractual or other negotiations of a person, group of persons, or organization (third-party trade secrets)

Carried

17.1 Report regarding County of Peterborough Waste Management - Public Works-2026-02

18. Rise from Closed Session with or without a Report

Resolution Number 126-2026

Moved by: Councillor Watt

Seconded by: Councillor Johnston

That Council rise from Closed Session with a report at 7:17 p.m.

Carried

19. Matters Arising from Closed Session

Resolution Number 127-2026

Moved by: Deputy Mayor Nelson

Seconded by: Councillor Johnston

That the report Public Works-2026-02, dated April 7, 2026, regarding the proposed Peterborough County Curbside Garbage and Organics collection program be received; and

That the Township of Douro-Dummer be withdrawn from the Peterborough County Negotiated Request for Proposal (NRFP) for curbside garbage and organics collection services; and

That staff be directed to report back to Council at a future meeting with options for the provision of curbside garbage collection services commencing in 2027; and lastly

That staff send a letter of thanks to the staff at the County of Peterborough for their work in their proposal of this project. Carried

20. Confirming By-law: 2026-16

Moved by: Councillor Watt

Seconded by: Councillor Landsmann

That By-law Number 2026-16, being a By-law to confirm the proceedings of the Regular Meeting of Council, held on the 7th day of April 2026, be passed in open Council and that the Mayor and the Clerk be directed to sign same and affix the Corporate Seal thereto. Carried

21. Next Meeting:

Committee of the Whole - April 15, 2026

Regular Council Meeting - April 21, 2026

22. Adjournment

Resolution Number 128-2026

Moved by: Councillor Landsmann

Seconded by: Councillor Watt

That this meeting adjourn at 7:19 p.m.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

Minutes County Council - Regular Meeting



9:30 AM - Wednesday, March 18, 2026

Electronic Participation

The meeting was held hybrid (in-person and electronic) and was streamed live on the County of Peterborough's YouTube channel ([Part 1](#) and [Part 2](#)).

Present: Warden Bonnie Clark, Deputy Warden Sherry Senis, Councillor Carolyn Amyotte, Councillor Carol Armstrong, Councillor Ron Black, Councillor Lori Burt, Councillor Matthew Graham, Councillor Ryan Huntley, Councillor Terry Lamshead, Councillor Jim Martin, Councillor Harold Nelson, Councillor Joe Taylor, Councillor Heather Watson, Councillor Hart Webb, Councillor Jim Whelan, and Councillor Pat Wilford

Regrets:

Staff Present: Chief Administrative Officer Sheridan Graham; Director of Corporate Services, Deputy CAO Jennifer Stover; Chief of Paramedics Patricia Bromfield; Director of Legislative Services/Clerk Kari Stevenson; Director of Planning, Development and Public Works Iain Mudd; Director of Planning, Development and Public Works Bryan Robinson; General Manager of Finance/Deputy Treasurer Michelle Fisher; General Manager of Operations Rod Porter; Senior Financial Analyst, Dan Sutherland; Deputy Clerk, Marissa Martin

1. Call To Order

Warden Clark called the meeting to order at 9:30 a.m.

2. Land Acknowledgement

3. Moment of Silent Reflection/Silence

4. Adoption of Agenda

Resolution No. 35-2026

Moved by Councillor Burt

Seconded by Councillor Armstrong

That the addendum agenda be adopted as circulated.

Carried

5. Disclosure of Interest

6. Adoption of Minutes

Resolution No. 36-2026

Moved by Councillor Lambshead
Seconded by Councillor Wilford

That the minutes of the Regular Council meeting of March 4, 2026 be adopted as circulated.

Carried

7. Delegations and Presentations

**a. Bryan Robinson, Director of Planning, Development & Public Works
Re: Introduction of Rod Porter, General Manager of Operations**

Bryan Robinson, Director of Planning, Development & Public Works, introduced Rod Porter, Peterborough County's new General Manager of Operations.

8. Consent Items

Note: All matters listed under Consent Items are considered to be routine, housekeeping, information or non-controversial in nature and to facilitate Council's consideration can be approved by one motion.

a. Staff Reports

**Kari Stevenson, Director of Legislative Services/Clerk
Re: Council Remuneration By-law Review**

b. Staff Reports

**Michelle Fisher, General Manager, Finance/Deputy Treasurer
Re: 2025 Council Remuneration Report**

c. Correspondence Report

d. Committee Minutes

**Accessibility Advisory Committee
Re: Minutes of March 5, 2026**

e. Committee Minutes

**Awards and Bursaries Committee
Re: Minutes of March 13, 2026**

**f. Liaison Reports from External Committees, Boards and Agencies
Peterborough County Federation of Agriculture**

Re: Minutes of August 13, 2025 Meeting

**g. Liaison Reports from External Committees, Boards and Agencies
Peterborough County Federation of Agriculture**

Re: Minutes of January 28, 2026 Meeting

The entire correspondence report, item 8. c., was pulled from the consent agenda to be dealt with separately.

Resolution No. 37-2026

Moved by Councillor Burt
Seconded by Deputy Warden Senis

That the Resolution from the Township of Papineau-Cameron regarding Ontario Veterinary College Expansion of Enrollment Capacity be supported.

Carried

Resolution No. 38-2026

Moved by Councillor Watson
Seconded by Councillor Black

That the balance of the correspondence report be received.

Carried

Resolution No. 39-2026

Moved by Councillor Graham
Seconded by Councillor Huntley

That Report CPS 2026-06, Council Remuneration By-law Review, be received for information.

That all comments be forwarded to the Clerk prior to March 31st for a report to come back to Council in April.

That report FIN 2026-04, 2025 Council Remuneration, be received.

That the minutes of the Accessibility Advisory Committee (AAC) dated March 5, 2026, be adopted.

That Peterborough County Council endorse the proposed video project for the Ennismore Waterfront Accessible Playground as supported by the AAC.

That the minutes of the Awards and Bursaries Committee dated March 13, 2026 be adopted.

That the Minutes of the Peterborough County Federation of Agriculture dated August 13, 2025 be received.

That the Minutes of the Peterborough County Federation of Agriculture dated January 28, 2026 be received.

Carried

9. Staff Reports - Direction

10. Notices of Motion

- a. **Moved by Councillor Amyotte**
Seconded by Councillor Whelan

Whereas the County's Procedure By-law was amended in 2022 to prohibit an individual to run for the position of County Warden after serving two consecutive two-year terms as County Warden;

And Whereas the Procedure By-law also restricts the County Warden from appointing an individual as Deputy Warden for more than two consecutive two-year terms;

And Whereas some current members of County Council wish to remove the restrictions to allow all willing members to run in the election for the position of County Warden with a Council vote; and

And Whereas the elected County Warden needs the ability to appoint the Deputy Warden that best fits the position;

That staff be directed to review the Procedure By-law recommending necessary changes for the upcoming election and to remove all wording restricting an individual to hold the position of Warden for more than two consecutive terms.

Resolution No. 40-2026

Moved by Councillor Graham
Seconded by Councillor Wilford

That the Notice of Motion be deferred to the April 8, 2026, County Council meeting.

Carried

11. Announcements

Warden Clark announced that the Keene Lions Club will be hosting its annual Good Friday fish fry on Friday, April 3.

12. Closed Session

Under the authority of the Municipal Act, 2001, S.O. 2001, c. 25, S. 239(2) to consider:

(b) personal matters about an identifiable individual, including municipal or local board employees (identifiable individuals)

Resolution No. 41-2026

Moved by Councillor Burtt
Seconded by Councillor Nelson

That Council move into closed session at 10:06 a.m. under Section 239(2) (b) of the Municipal Act, 2001.

Carried

13. Rise from Closed Session

Resolution No. 42-2026

Moved by Councillor Whelan
Seconded by Councillor Amyotte

That Council rise from closed session at 10:25 a.m.

Carried

14. Matters Arising from Closed Session

Resolution No. 43-2026

Moved by Councillor Lambshead
Seconded by Councillor Black

That staff be directed to contact the award recipients set out in the Closed Session minutes of the March 13, 2026, Awards and Bursaries Committee and that those minutes be approved as circulated.

Carried

15. By-laws

By-law No. 2026-09 being, "A by-law to appoint area weed inspectors for the County of Peterborough and to establish remuneration" (subject to Council approval).

Resolution No. 44-2026

Moved by Councillor Taylor
Seconded by Councillor Webb

That By-law No. 2026-09 be read and passed and that these by-laws shall be signed by the Warden and Clerk and sealed with the Seal of the Corporation.

Carried

16. Confirming By-law

Resolution No. 45-2026

Moved by Councillor Huntley
Seconded by Councillor Black

That the confirming by-law to adopt, ratify, and confirm the actions of Council at today's meeting in respect to each report, motion, resolution or other action passed and taken by Council be adopted.

Carried

17. Adjournment

Resolution No. 46-2026

Moved by Councillor Martin

Seconded by Councillor Lambshead

That the Council meeting adjourn at 10:26 a.m.

Carried



Warden, Bonnie Clark



Clerk, Kari Stevenson



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

APPLICANT: Leah McCracken (Gail McCracken-Darrington)

FILE B – 109-25

LOT: 20, CON.: 3 MUNICIPAL WARD: Dummer

911 address: 1539 Third Line Road-N-Dummer, Roll #: 1522-020-004-08000, Island # or other: _____

APPLICATION FOR: Creation of a new lot

RECOMMENDATION:

Application **conforms** to the Official Plan. Severed parcel **conforms** to the Zoning By-Law. Retained parcel **conforms** to the Zoning By-Law. The Township **recommends** this application. If the application is approved, the following conditions are requested:

1. **\$1250** Cash-in-lieu of parkland fee be paid to the Municipality.
2. Rezoning of the severed parcel to the satisfaction of the Municipality.
3. Rezoning of the retained parcel to the satisfaction of the Municipality.
4. Minor Variance for the severed parcel to the satisfaction of the Municipality.
5. Minor Variance for the retained parcel to the satisfaction of the Municipality.
6. A 3-metre strip of frontage from the severed parcel be deeded to the Township for road widening purposes. Cost to be incurred by the applicant.
7. The applicant be responsible for the costs of upgrading _____ Road to Municipal Standards to provide a minimum of 150' of frontage to the satisfaction of the Manager of Public Works.
8. The Manager of Public Works confirm that a safe entrance is possible.
9. A Mitigation Measures Agreement is to be entered into between the Owner and the Municipality and registered on title at the owner's expense, which would recognize the recommendations outlined in Section 4.3 of the Environmental Impact Study prepared by Cambium Inc. dated August 26, 2024.
10. An Agreement is to be entered into between the Applicant & the Municipality and registered on title at the applicants expense which would _____.
11. A Merger Agreement is to be entered into between the Transferor, Transferee and Municipality, pursuant to Section 51(26) and Section 53(12) of the *Planning Act, R.S.O., 1990*, and registered on title to merge the severed parcel with the abutting (or separated) land identified by property roll # _____, such that these 2 parcels shall be considered as one lot and shall not be dealt with separately. *(To be used in the case of an addition to a lot which was previously created by severance, plan of subdivision or is physically separated)*. **OR**
12. The solicitor for the applicant is to provide an undertaking, whereby he informs the Committee, in writing, that the lands are being conveyed to an abutting property owner and a merger of title shall take place. *(To be used in the case of an addition to a lot which had not been created by severance – usually created before subdivision control began in 1979)*.
13. A test hole for the septic system be inspected, there is a fee to inspect test holes to ensure a septic system would be viable – current fees are \$175 per severed lot severed and applicant is responsible for the digging of the test holes.
14. An up-to-date site plan survey be completed on the retained and severed (after the lot is merged with the adjacent property) lots to assist with the rezoning process.
15. An Ontario Land Surveyor provide a measurement of the frontage on the retained portion to assist with the rezoning.
16. A Right-of-way be obtained to provide access to the newly merged lot.
17. The depth of the severed lot be increased to ensure that the lot is a minimum of 0.4 ha (1 acre) in size (which does not include the 3-metre strip of frontage deeded to the municipality).
18. An Easement be granted by the County of Peterborough to allow access to the severed parcel over the County Trail.
19. The existing buildings and setbacks from the new lot lines be shown on the draft R-Plan and if any deficiencies are found then a rezoning/minor variance will be required.
20. The draft R-Plan illustrate the extent of the wetland on the retained parcel as shown on Figure 3 to the Environmental Impact Study prepared by Cambium Inc. dated August 26, 2024, to assist with the rezoning.
21. The draft R-Plan illustrate the extent of the MDS arcs for the livestock facilities at 1490 and 1452 Third Line Road-N-Dummer, to assist with the rezoning.
22. The draft R-Plan illustrate a building envelope for the proposed new dwelling on the retained parcel. The building footprint shall be a minimum of 60 square metres as per the minimum first storey area requirements for a dwelling in the Rural (RU) Zone (s. 9.2.4 i)). The building envelope shall meet the applicable setbacks of the RU Zone (ss. 9.2.4 c) through g)). Where there are multiple zones on one lot, the zone boundary is treated as a lot line (s. 3.27 a)).

Comments: Test hole is required to be dug and inspected for the retained parcel. The fee has not yet been paid.

OFFICIAL PLAN:

Application **conforms** to the Township Official Plan policies, Section(s) 6.2.2.2, 6.2.2.3, 6.2.2.5, 7.12.

Severed Parcel:

- a) Proposed Use: Residential.
- b) Land Use Designation(s): Rural.
- c) The proposed use **is** a permitted one.
- d) Special policies affecting the severed parcel (i.e. OPA): N/A.



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

Retained Parcel(s):

- a) Proposed Use: Residential.
- b) Land Use Designation(s): Rural.
- c) The proposed use **is** a permitted one.
- d) Special policies affecting the retained parcel (i.e. OPA): N/A.

ZONING BY-LAW:

Severed Parcel:

- a) The severed parcel **conforms** to the Township Zoning By-Law provisions, Section(s) **9.1, 9.2.4 (a) & (b)**.
- b) A rezoning **is not** required for the severed parcel.
- c) A minor variance **is not** required for the severed parcel.
- d) The existing zoning of the severed parcel is: Rural (RU).
- e) The recommended zoning of the severed parcel would be: Rural (RU).

Retained Parcel(s):

- a) The retained parcel **conforms** to the Township Zoning By-Law provisions, Section(s) **9.1, 9.2.4 (a) & (b)**.
- b) A rezoning **is** required for the retained parcel.
- c) A minor variance **is not** required for the retained parcel.
- d) The existing zoning of the retained parcel is: Rural (RU).
- e) The recommended zoning of the retained parcel would be: Rural (RU) and Environmental Conservation (EC).

General:

- a) If the severed and/or retained parcel(s) do not conform to the Zoning By-Law, Council **supports** a rezoning and/or minor variance.

Completed By: Emily Fitzgerald

Date: April 9, 2026

Amended Date: _____



Application for Consent

<p>Note to Applicant: Application Fee: \$1150.00 along with Please provide the Original Signed and 1 copy of this application.</p>	<p>Office Use: File No. B- 709.25 Date Received: RECEIVED NOV 14 2025 LAND DIVISION</p>
--	--

Preliminary Severance Review with the County of Peterborough Planning Department
 Completed: Y/N Y Date: November 5th/2025

Were there any Studies required? Y/N Y
 (i.e. Traffic Study, Archaeological Study and Environmental Impact Analysis (EIA).
 If Yes please provide an electronic copy to the Land Division Secretary. *sent to Ann Hamilton*

1. Owner Information

Name(s): Leah Mccracken Address: [REDACTED]
 P.O. Box: [REDACTED] City/Province: [REDACTED]
 Postal Code: [REDACTED] Phone: [REDACTED]
 E-mail: [REDACTED]
 Do you wish to receive all communications? Yes No

Authorized Agent/Solicitor/Purchaser

Name(s): Gail McCracken-Darrington Address: [REDACTED]
 P.O. Box: [REDACTED] City/Province: [REDACTED]
 Postal Code: [REDACTED] Phone: [REDACTED]
 E-mail: [REDACTED]
 Do you wish to receive all communications? Yes No

2. Property Description

Ward: Dummer Township: Douro-Dummer Lot: 20 Concession: 3
 Municipal (911) Address: 1539 Thirdline Rd, N-Dummer Tax Roll #: 152202000408000000
 Registered Plan #: Con 3 S PT Block/Lot: 20

3. Type and Purpose of Proposed Transaction

Transfer: Creation of a New Lot Addition to a Lot (moving/adjusting lot line)
 Other: Right-of-Way Easement Correction of Title(merged property)
 Charge Lease

4. Transferee

If known, the name of the person(s), to whom land or interest in land is intended to be transferred, charged or leased: N/A
 Relationship to owner: _____

5. Information regarding the land intended to be severed, the land to be retained and the land to be added to (if applicable)

		Severed	Retained	Lands to be added to (if applicable)
Dimensions	Road Frontage	98 m	233.7 m	m
	Depth	122 m	488.2 m	m
	Area	0.72 ha	20.48 ha	ha
Use of Property	Existing Use	Residential	Residential	N/A
	Proposed Use	Residential	Residential	N/A
Building or Structure	Existing	House well septic	None	N/A
	Proposed	None	House, well, septic	N/A
Septic System Installed	Date of installation	1987		
	Distance from lot line	21 m	m	m
	Distance from well	121 m	m	m

Have you shown the well & septic locations and setbacks on the sketch? Y/N _____

Roll # of Lot receiving the addition

Access

	Severed	Retained	Lands being added to
Municipal maintained road	Yes	Yes	N/A
Seasonally maintained municipal road			
County Road			
Provincial Highway			
Private Road or right-of-way			
Water Access			
Other			

If Water Access only please provide a description of parking and docking facilities (include approximate distance of these facilities from the subject land and the nearest public road)

Water Supply, type of existing service OR type that would be used if the land were developed

	Severed	Retained	Lands being added to
Publicly owned/operated piped water system			
Privately owned/operated individual well	Yes	No	
Privately owned/operated communal well			
Lake or other water body			
Other			

Sewage Disposal: (if existing, show on sketch)

	Severed	Retained	Lands being added to
Publicly owned/operated sanitary sewage system			
Privately owned/operated individual septic tank	Yes	No	
Privately owned/operated communal septic tank			
Privy			
Other			

6. Local Planning Documents

	Severed	Retained	Lands being added to
Township Official Plan Designation	Residential	Residential	
County Official Plan Designation	Settlement area	Settlement area	
Current Zoning	R-1	R-1	
Explain how the application Conforms with the current Official Plans			
Low density residential			

7. Provincial Policy

Is the application consistent with the Provincial Policy Statements? Yes No
 (information is available from the Preliminary Severance Review)

Explain how the application is consistent:
 Meets relevant policy for lot creation un

Is the subject property within an area of land designated under any provincial plan(s)?
 Yes No

(Oak Ridges Moraine Conservation Plan applies to portions of Cavan Ward only;
 Growth Plan applies to the entire County of Peterborough so answer should be yes)

If yes, explain how the application conforms or does not conflict with provincial plan(s)?
 Meets relevant policy for lot creation

Clean Water Act
 Is the subject property within an area of Source Water protection under the Clean Water Act?
 Yes No
 If yes, has a notice been issued under Part IV of the Clean Water Act and submitted with the application?
 Yes No

8. Restrictions of Subject Land

Are there any easements or restrictive covenants (i.e. hydro, Bell) affecting the subject land?
 Yes No
 If yes, describe the easement or covenant and its effect:

9. History of Subject Lands

Is the subject land now, or has it been, the subject of an application for a Plan of Subdivision under Section 51 or a consent under Section 53 of the Planning Act?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Unknown <input type="checkbox"/>
If you answered yes please specify the file number of the application if known:			
Has the owner of the subject land severed any land from the original acquired parcel?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Unknown <input type="checkbox"/>
If you answered yes please specify the file number of the application if known:			

10. Other Current Applications

Is this land currently the subject of any other application under the Planning Act, such as an application for Official Plan Amendment, Zoning By-Law Amendment, Minor Variance, Minister's Order, or Power of Sale?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Unknown <input type="checkbox"/>
If yes, please provide the following: Type: _____ File No. _____ Status: _____			

11. Request for Certificate for Retained Lands

Does the application include a request referred to in clause 53 (42.1) (a) of the Act for a Certificate of Official for the Retained lands.

Yes No

If yes, has the applicant provided a lawyer's statement that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening Section 50 of the Act.

Yes No

And, has the lawyer's statement must also provide a legal description for use in the requested Certificate of Official for the retained lands.

Yes No

12. Minimum Distance Separation (MDS)

Are there any barns within 750-1,500 metres of the subject property which currently house or are capable of housing livestock? Yes No

Are there any anaerobic digesters within 750-1,500 metres of the subject property? *see attached EIS that shows MDS Arc.* Yes No

If yes please complete an "MDS Data Sheet" for each barn

13. Agricultural Severances (for lands within the agricultural designation only) N/A

Is the severance to dispose of a residence surplus to a farming operation (must have 2 houses)? Yes No

Is this severance to create a new farm parcel approximately 40 hectares (100 acres) in size? Yes No

Is this severance for a commercial or industrial "agriculture-related" use? Yes No

14. Adjacent Lands Surrounding the Landholding

If more room is needed, please add extra Schedule page.

Direction	Name of Owner (only when known to the applicant)	Use of Land – (must be filled in) (i.e. farm, residential etc.)	Buildings (must be filled in) (i.e. house, barn etc.)
North	[REDACTED]	Residential	House
South	[REDACTED]	Farm	None
East	Unknown	Residential	House
West	[REDACTED]	Residential	House

15. Driving Directions

Please describe in detail driving directions to the subject property:

From Lakefield take County 29 to County Rd 6 for 10 km, then turn right onto thirdline


Rd, N-Dummer. Third house on right # 1539

Declaration

This section must be signed before a Commissioner for Taking Affidavits or a designated Official of the Municipality

(i.e. Mayor, Reeve, Clerk, Secretary-Treasurer of the Land Division Committee, lawyer, etc.)

I/we, Leah M'Cracken of the Township, City, etc. of Deer- Summer, in the County/Region/Municipality, etc. of Peterborough, solemnly declare that all the statements contained in this application are true, and I make this solemn declaration as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the City  City, Township Owner or authorized Agent

of Peterborough Name of City, etc.

in the County Owner or authorized Agent
County, Region, etc.

of Peterborough

this 14 day of November, 2025.

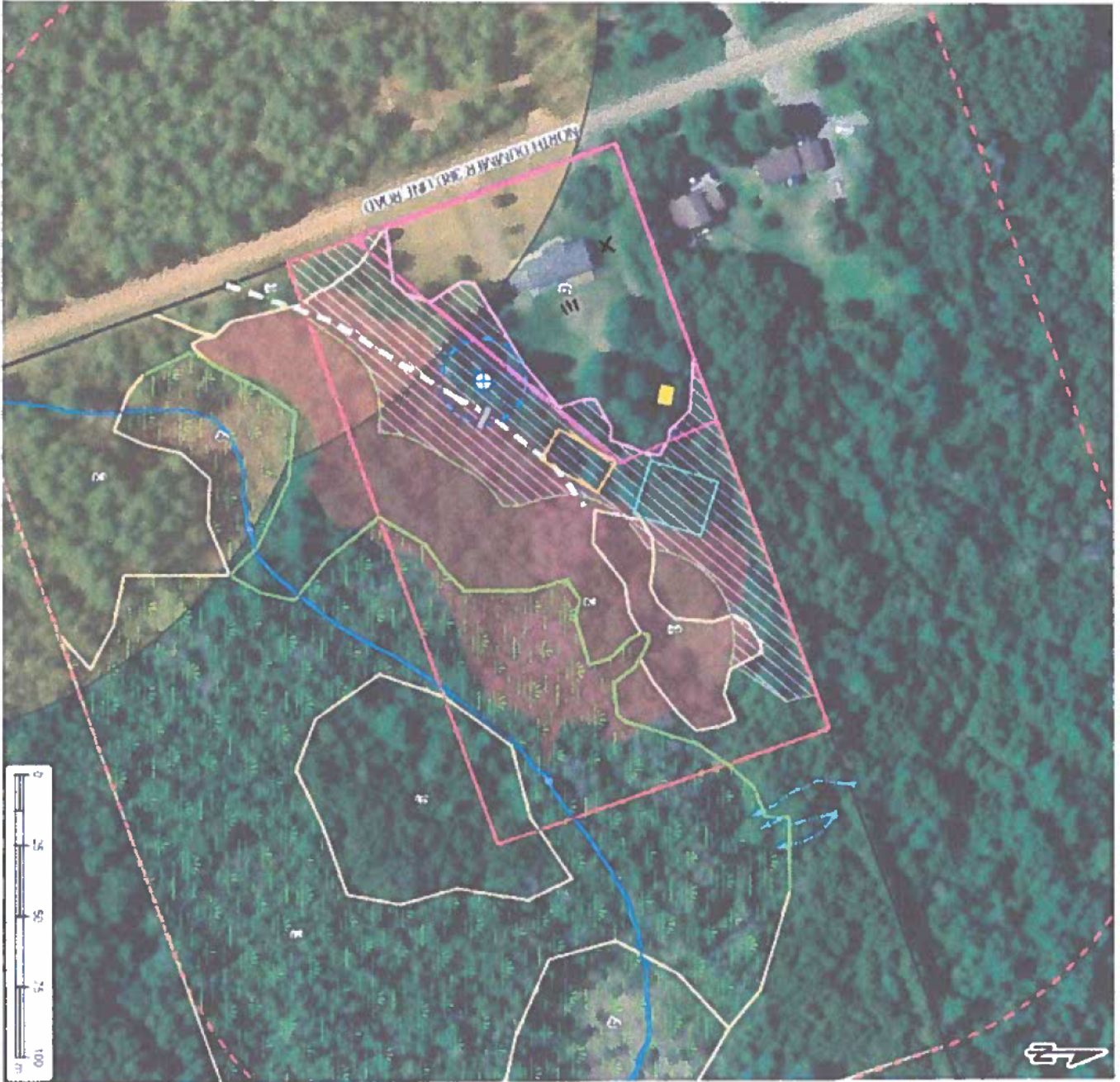

Commissioner, etc. for taking affidavits

**Ann Frances Hamilton,
a Commissioner, etc., Province of Ontario, for
The Corporation of the County of Peterborough.
Expires December 29, 2026.**

Personal information contained on this form is legally authorized under Sec.53 of the Planning Act and O.Reg.197/96 for the purpose of processing your planning application and will become part of a public record and will be disclosed/made available by the County to such persons as the County sees fit, including anyone requesting such information. Accordingly, in providing such information, you shall be deemed to have consented to its use and disclosure as part of the planning process.

Pursuant to Sec.1.0.1 of the Planning Act, and in accordance with Sec.32(e) of the Municipal Freedom of Information and Protection of Privacy Act the County of Peterborough may make all planning applications and supporting material available to the public in hard copy or electronically. If you have any questions about the collection, use or disclosure of this information by the County of Peterborough, please contact the CAO or Clerk, County of Peterborough, 470 Water Street, Peterborough, Ontario K9H 3M3

An "original" signed copy of the application and sketch must be submitted, together with 1 copy of both the application and sketch. All copies of the sketch or survey must be coloured – red for severed lots, green for retained, yellow for right-of-way. Please submit application with a cheque for \$1150.00 payable to the "County of Peterborough".



**ENVIRONMENTAL
IMPACT STUDY**
LEAM MCCRACKEN AND THE
ESTATE OF JOAN MCCRACKEN
1539 3rd Line Road North Dumfries
Dumfries, Ontario

- | | |
|--|---|
| | Proposed
Original Well |
| | Removed |
| | Watercourse, Proposed |
| | Field Wind of St. Barnabus |
| | Lot Lines |
| | Driveway, Current |
| | Original Proposed Servitude |
| | 30m Buffer to Other Property
Setback |
| | SR#1 |
| | Topsoil/underpinnings |
| | Field of Windmill |
| | Physical Building Footprint |
| | Proposed St. Barnabus Servitude |
| | Water Main Taps |
| | SESSAFC |
| | Solar Barriers Recommended |
| | Wapiti underpinnings (S. 20) |
| | Development Area (OESMA) |
| | Aggravated (OEM) |
| | Subject to (S. 20) (S. 20) |
| | SR#2 (Not Recommended) |

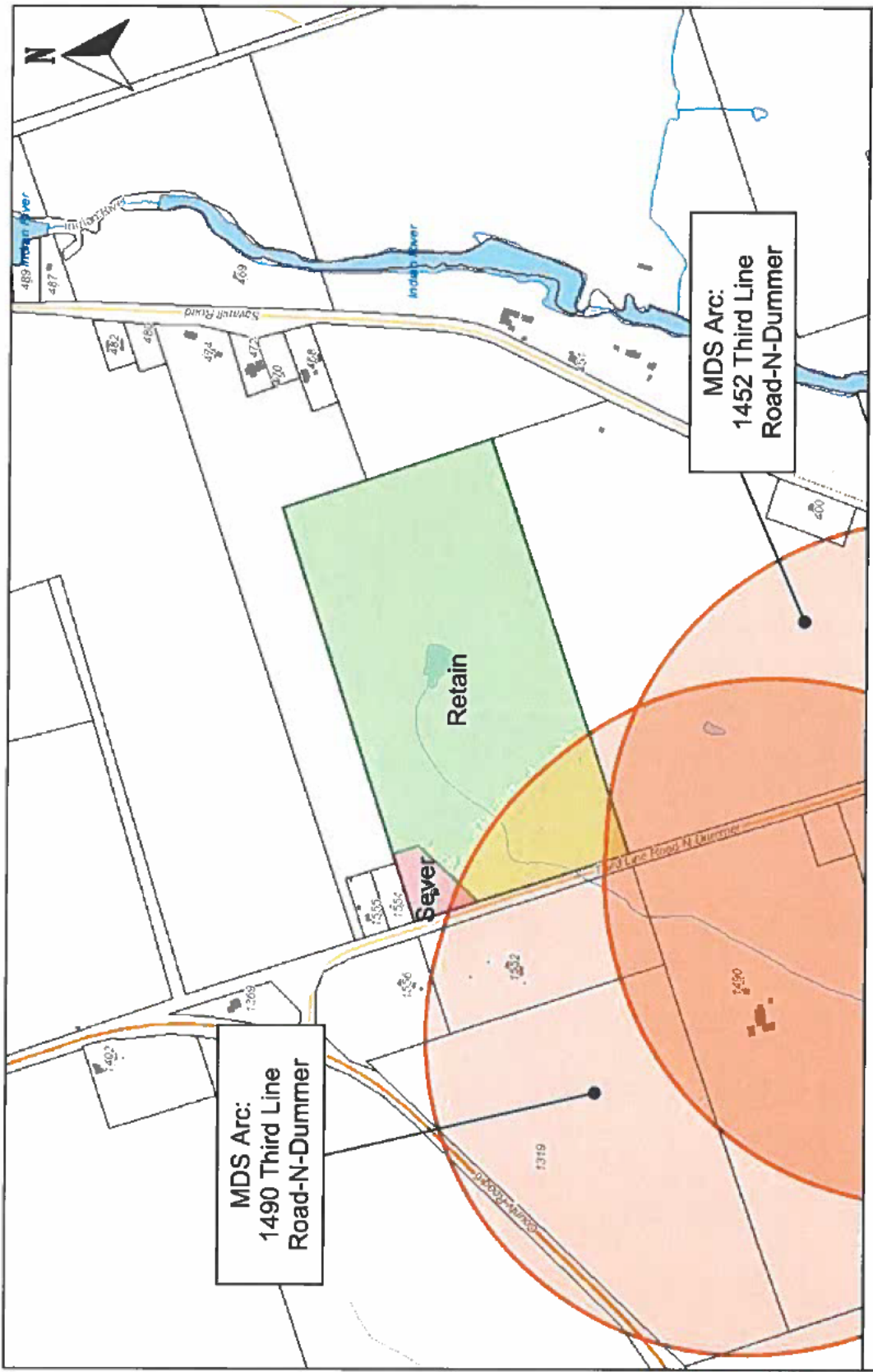
**NATURAL HERITAGE
CONSTRAINTS**

THE NATURE CONSERVANCY OF CANADA
 10000 15th Ave. N.E., Unit 113
 Edmonton, Alberta T6A 4K2
 www.nature.ca

Project No.	15A3-001	Date	August 2025
Scale	1:2,000	Projection	NAD 83 UTM Zone 18N
Created by	LD	Checked by	MD
Figure		3	

Handwritten notes:
 X - actual well
 existing
 = septic

Roll # 1522-020-004-08000
1359 Third Line Road-N-Dummer, Lot 20, Concession 3, Dummer Ward
McCracken
Constraints Mapping: Minimum Distance Separation



NOTE: New development, including lot creation, must be located outside the MDS arc(s) shown above.

Scale (metric)
1:9,028

MDS I

General information

Application date
Jan 8, 2025

Municipal file number

Proposed application
Lot creation that results in a cluster of four, or more, non-agricultural use lots in immediate proximity to one another

Applicant contact information
Leah McCracken


Location of subject lands
County of Peterborough
Township of Douro-Dummer
DUMMER
Concession 3, Lot 20
Roll number: 1522-020-004-08000

Calculations



Farm contact information




Location of existing livestock facility or anaerobic digester
 County of Peterborough
 Township of Douro-Dummer
 DUMMER
 Concession 2, Lot 19
 Roll number: 1522

Total lot size
 55 ac

Livestock/manure summary

Manure Form	Type of livestock/manure	Existing maximum number	Existing maximum number (NU)	Estimated livestock barn area
Solid	Beef, Cows, including calves to weaning (all breeds), Yard/Barn	128	128 NU	6400 ft ²

 **Confirm Livestock/Manure Information (1490 Third Line Road-N-Dummer)**
 The livestock/manure information has not been confirmed with the property owner and/or farm operator.

Setback summary

Existing manure storage	V3. Solid, outside, no cover, >= 30% DM		
Design capacity	128 NU		
Potential design capacity	256 NU		
Factor A (odour potential)	0.7	Factor B (design capacity)	438.76
Factor D (manure type)	0.7	Factor E (encroaching land use)	2.2
Building base distance 'F' (A x B x D x E) (minimum distance from livestock barn)			473 m (1552 ft)
Actual distance from livestock barn			NA
Storage base distance 'S' (minimum distance from manure storage)			473 m (1552 ft)
Actual distance from manure storage			NA

Farm contact information ⓘ



Location of existing livestock facility or anaerobic digester
County of Peterborough
Township of Douro-Dummer
DUMMER
Concession 2, Lot 19
Roll number: 1522

Total lot size
56 ac

Livestock/manure summary

Manure Form	Type of livestock/manure	Existing maximum number	Existing maximum number (NU)	Estimated livestock barn area
Solid	Beef, Cows, including calves to weaning (all breeds), Yard/Barn	102	102 NU	5100 ft²

⚠ Confirm Livestock/Manure Information (1452 Third Line Road-N-Dummer)
The livestock/manure information has not been confirmed with the property owner and/or farm operator.

Setback summary

Existing manure storage	V3. Solid, outside, no cover, >= 30% DM		
Design capacity	102 NU		
Potential design capacity	204 NU		
Factor A (odour potential)	0.7	Factor B (design capacity)	405.24
Factor D (manure type)	0.7	Factor E (encroaching land use)	2.2

Building base distance 'F' (A x B x D x E) (minimum distance from livestock barn)	437 m (1434 ft)
Actual distance from livestock barn	NA
Storage base distance 'S' (minimum distance from manure storage)	437 m (1434 ft)
Actual distance from manure storage	NA

Preparer signoff & disclaimer

Preparer contact information
Jennifer Clinesmith
County of Peterborough
470 Water Street
Peterborough, ON
K9H 3M3
jclinesmith@ptbocounty.ca

Signature of preparer

Jennifer Clinesmith , Planner

Date (mmm-dd-yyyy)

Note to the user

The Ontario Ministry of Agriculture, Food and Rural Affairs (OMAFRA) has developed this software program for distribution and use with the Minimum Distance Separation (MDS) Formulae as a public service to assist farmers, consultants, and the general public. This version of the software distributed by OMAFRA will be considered to be the official version for purposes of calculating MDS. OMAFRA is not responsible for errors due to inaccurate or incorrect data or information; mistakes in calculation; errors arising out of modification of the software, or errors arising out of incorrect inputting of data. All data and calculations should be verified before acting on them.

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Fw: [REDACTED]

From leah mccracken [REDACTED]
Date Fri 2025-11-14 9:05 AM
To Hamilton, Ann <ahamilton@ptbocounty.ca>

Get [Outlook for iOS](#)

From [REDACTED]
Sent: Monday, May 26, 2025 11:19 AM
To: leah mccracken [REDACTED]
Subject: Fwd: [REDACTED]

----- Forwarded message -----

From: [REDACTED]
Date: Mon, May 26, 2025, 10:47 a.m.
Subject: Fwd: [REDACTED]
To: [REDACTED]

----- Forwarded message -----

From: **Marnie Guindon** <mguindon@otonabeeconservation.com>
Date: Mon, May 26, 2025, 10:38 a.m.
Subject: 1539 third line road, Douro Dummer PGCD-1367
To: [REDACTED]
Cc: JClinesmith@ptbocounty.ca <JClinesmith@ptbocounty.ca>, efitzgerald@dourodummer.ca <efitzgerald@dourodummer.ca>

Hello Gail and Leah,

This email is a follow up from our site meeting on May 7th 2025. Thank you for having me out onsite and your patience in my follow up.

I have reviewed the submitted Preliminary Severance Review and the Environmental Impact Study EIS (Cambium, August 26th 2024) and can provide the following comments.

- The site has been heavily cleared due to the 2022 derecho storm and our assessment on the hazards are based on current conditions.
- The EIS notes the presence of a culvert which would indicate a hydrologic feature. After reviewing the feature at our site meeting is Otonabee Conservation opinion that this hydrologic feature is a permanent feature that likely flowed southwest towards the mapped wetland. At the time of the site meeting there was wetland vegetation present and substantial flows making their way through the property but impeded from the work (grubbing) that has occurred on the property.
- Figure 3 should be updated to include a hydrologic feature in this area. Staff agree with all other constraints depicted in Figure 3 of the report.
- Otonabee Conservation staff will recommend the hazards be zoned appropriately.
- Staff recommend that a drainage/rehabilitation plan be included as part of any future application or development proposals where the hydrologic feature is restored and plantings be implemented along the hydrologic feature and along the wetland edges in the disturbed areas.
- Otonabee Conservation staff are of the opinion that there is a development envelope as identified in the EIS.

The Township and the County are included on this email so that they are also aware of our comments.

Regards,

Marnie Guindon

Planning & Regulations Officer

Otonabee Region Conservation Authority

[250 Milroy Drive, Peterborough, ON K9H 7M9](https://www.otonabeeconservation.com)

Tel: 705-745-5791, ext. 227

mguindon@otonabeeconservation.com





This e-mail is confidential. If you are not an addressee named above, please immediately delete and notify the sender. Thank you.



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

APPLICANT: David Carlaw & Arlene Whidden

FILE B - 113-25

LOT: 5, CON.: 6 MUNICIPAL WARD: Dummer

911 address: 347 Sixth Line Road-S-Dummer, Roll #: 1522-020-001-10600, Island # or other: _____

APPLICATION FOR: Creation of a new lot _____

RECOMMENDATION:

Application conforms to the Official Plan. Severed parcel conforms to the Zoning By-Law. Retained parcel conforms to the Zoning By-Law. The Township recommends this application. If the application is approved, the following conditions are requested:

- 1. [X] \$1250 Cash-in-lieu of parkland fee be paid to the Municipality.
2. [] Rezoning of the severed parcel to the satisfaction of the Municipality.
3. [] Rezoning of the retained parcel to the satisfaction of the Municipality.
4. [] Minor Variance for the severed parcel to the satisfaction of the Municipality.
5. [] Minor Variance for the retained parcel to the satisfaction of the Municipality.
6. [X] A 3-metre strip of frontage from the severed parcel be deeded to the Township for road widening purposes. Cost to be incurred by the applicant.
7. [] The applicant be responsible for the costs of upgrading _____ Road to Municipal Standards to provide a minimum of 150' of frontage to the satisfaction of the Manager of Public Works.
8. [] The Manager of Public Works confirm that a safe entrance is possible.
9. [] A Mitigation Measures Agreement is to be entered into between the Owner and the Municipality and registered on title at the owner's expense, which would recognize the recommendations outlined in Section _____ of the _____ prepared by _____ dated _____.
10. [] An Agreement is to be entered into between the Applicant & the Municipality and registered on title at the applicants expense which would _____.
11. [] A Merger Agreement is to be entered into between the Transferor, Transferee and Municipality, pursuant to Section 51(26) and Section 53(12) of the Planning Act, R.S.O, 1990, and registered on title to merge the severed parcel with the abutting (or separated) land identified by property roll # _____, such that these 2 parcels shall be considered as one lot and shall not be dealt with separately. (To be used in the case of an addition to a lot which was previously created by severance, plan of subdivision or is physically separated). OR
12. [] The solicitor for the applicant is to provide an undertaking, whereby he informs the Committee, in writing, that the lands are being conveyed to an abutting property owner and a merger of title shall take place. (To be used in the case of an addition to a lot which had not been created by severance - usually created before subdivision control began in 1979).
13. [] A test hole for the septic system be inspected, there is a fee to inspect test holes to ensure a septic system would be viable - current fees are \$150 per severed lot severed and applicant is responsible for the digging of the test holes.
14. [] An up-to-date site plan survey be completed on the retained and severed (after the lot is merged with the adjacent property) lots to assist with the rezoning process.
15. [] An Ontario Land Surveyor provide a measurement of the frontage on the retained portion to assist with the rezoning.
16. [] A Right-of-way be obtained to provide access to the newly merged lot.
17. [] The depth of the severed lot be increased to ensure that the lot is a minimum of 0.4 ha (1 acre) in size (which does not include the 3-metre strip of frontage deeded to the municipality).
18. [] An Easement be granted by the County of Peterborough to allow access to the severed parcel over the County Trail.
19. [X] The existing buildings and setbacks from the new lot lines be shown on the draft R-Plan and if any deficiencies are found then a rezoning/minor variance will be required.
20. [] _____
21. [] _____

Comments: Section 6.2.2.5 (d)(ii) limits the size of new residential lots in the Rural designation to 1 hectare, unless there are other uses in addition to, or separate from, the residential use. The new residential parcel is proposed to have an area of approximately 2.06 hectares. The Applicants are proposing to use a portion of the hangar building, as shown on the severance sketch, to conduct a home occupation. A home occupation is permitted in the Rural designation and zone. The additional land is required to encompass all existing buildings associated with the residential and home occupation uses.

Subject property has frontages along two Township Roads: Sixth Line Road-S-Dummer and Webster Road. The required 3-metre road widening is to be taken from the frontage along Sixth Line Road-S-Dummer.

OFFICIAL PLAN:

Application conforms to the Township Official Plan policies, Section(s) 6.2.2.2, 6.2.2.3, 6.2.2.5, 7.12.

Severed Parcel:

- a) Proposed Use: Agricultural.
b) Land Use Designation(s): Rural.
c) The proposed use is a permitted one.
d) Special policies affecting the severed parcel (i.e. OPA): N/A.

Retained Parcel(s):

2026-03-27

This document is available in 12 pt. font for accessibility.

B-113-25 MAF



COUNTY OF PETERBOROUGH
MUNICIPAL APPRAISAL FORM

- a) Proposed Use: Residential with Home Occupation.
 - b) Land Use Designation(s): Rural.
 - c) The proposed use **is** a permitted one.
 - d) Special policies affecting the retained parcel (i.e. OPA): N/A.
-

ZONING BY-LAW:

Severed Parcel:

- a) The severed parcel **conforms** to the Township Zoning By-Law provisions, Section(s) 9.1, 9.2.1 (a) & (b).
- b) A rezoning **is not** required for the severed parcel.
- c) A minor variance **is not** required for the severed parcel.
- d) The existing zoning of the severed parcel is: Rural (RU).
- e) The recommended zoning of the severed parcel would be: Rural (RU).

Retained Parcel(s):

- a) The retained parcel **conforms** to the Township Zoning By-Law provisions, Section(s) 9.1, 9.2.4 (a) & (b), 3.17.
- b) A rezoning **is not** required for the retained parcel.
- c) A minor variance **is not** required for the retained parcel.
- d) The existing zoning of the retained parcel is: Rural (RU).
- e) The recommended zoning of the retained parcel would be: Rural (RU).

General:

- a) If the severed and/or retained parcel(s) do not conform to the Zoning By-Law, Council **supports** a rezoning and/or minor variance.

Completed By: Emily Fitzgerald

Date: March 31, 2026

Amended Date: _____



Application for Consent

<p>Note to Applicant:</p> <p>Application Fee: \$1150.00 along with</p> <p>Please provide the Original Signed and 1 copy of this application.</p>	<p>Office Use:</p> <p>File No. B- 113-25</p> <p>Date Received: RECEIVED NOV 17 2025 LAND DIVISION</p>
--	---

Preliminary Severance Review with the County of Peterborough Planning Department
 Completed: Y/N Y Date: NOVEMBER 26, 2024

Were there any Studies required? Y/N N
 (i.e. Traffic Study, Archaeological Study and Environmental Impact Analysis (EIA).
 If Yes please provide an electronic copy to the Land Division Secretary.

1. Owner Information

Name(s): DAVID CARLAW & ARLENE WHIDDEN Address: [REDACTED]
 P.O. Box: _____ City/Province: [REDACTED]
 Postal Code: [REDACTED] Phone: [REDACTED]
 E-mail: [REDACTED]
 Do you wish to receive all communications? Yes No

Authorized Agent/Solicitor/Purchaser

Name(s): N/A Address: _____
 P.O. Box: _____ City/Province: _____
 Postal Code: _____ Phone: _____
 E-mail: _____
 Do you wish to receive all communications? Yes No

2. Property Description

Ward: DUMMER Township: DOURO-DUMMER Lot: 5 Concession: 6
 Municipal (911) Address: 347 SIXTH LINE ROAD S. DUMMER Tax Roll #: 1522-020-001-10600
 Registered Plan #: _____ Block/Lot: _____

3. Type and Purpose of Proposed Transaction

Transfer: Creation of a New Lot Addition to a Lot (moving/adjusting lot line)
 Other: Right-of-Way Easement Correction of Title(merged property)
 Charge Lease

4. Transferee

If known, the name of the person(s), to whom land or interest in land is intended to be transferred, charged or leased: [REDACTED]
 Relationship to owner: [REDACTED]

5. Information regarding the land intended to be severed, the land to be retained and the land to be added to (if applicable)

		Severed	Retained	Lands to be added to (if applicable)
Dimensions	Road Frontage	376 m	51 m	m
	Depth	irregular m	213.36 m	m
	Area	34.15 ha	2.06 ha	ha
Use of Property	Existing Use	FARM	RESIDENTIAL	
	Proposed Use	FARM	RESIDENTIAL & HOME BASED BUSINESS	
Building or Structure	Existing	N/A	HOUSE & 2 OUT BUILDINGS	
	Proposed	N/A	HOUSE & 2 OUT BUILDINGS	
Septic System Installed	Date of installation	N/A	1993	
	Distance from lot line	27.43 m	15.24 m	m
	Distance from well	87.48 m	252.07 m	m

Have you shown the well & septic locations and setbacks on the sketch? Y/N Y

Roll # of Lot receiving the addition

Access

	Severed	Retained	Lands being added to
Municipal maintained road	X	X	N/A
Seasonally maintained municipal road			
County Road			
Provincial Highway			
Private Road or right-of-way			
Water Access			
Other			

If Water Access only please provide a description of parking and docking facilities (include approximate distance of these facilities from the subject land and the nearest public road)

Water Supply, type of existing service OR type that would be used if the land were developed

	Severed	Retained	Lands being added to
Publicly owned/operated piped water system			
Privately owned/operated individual well	N/A	X	N/A
Privately owned/operated communal well			
Lake or other water body			
Other			

Sewage Disposal: (if existing, show on sketch)

	Severed	Retained	Lands being added to
Publicly owned/operated sanitary sewage system			
Privately owned/operated individual septic tank	N/A	X	N/A
Privately owned/operated communal septic tank			
Privy			
Other			

6. Local Planning Documents

	Severed	Retained	Lands being added to
Township Official Plan Designation	RURAL	RURAL	N/A
County Official Plan Designation	RURAL	RURAL	
Current Zoning	RURAL (RU)	RURAL (RU)	

Explain how the application Conforms with the current Official Plans

SEE ATTACHED LETTER

7. Provincial Policy

Is the application consistent with the Provincial Policy Statements? Yes No
(information is available from the Preliminary Severance Review)

Explain how the application is consistent:

Consistent with the Provincial Planning Statement.

Is the subject property within an area of land designated under any provincial plan(s)?

Yes No

(Oak Ridges Moraine Conservation Plan applies to portions of Cavan Ward only; Growth Plan applies to the entire County of Peterborough so answer should be yes)


If yes, explain how the application conforms or does not conflict with provincial plan(s)?

November 14, 2025

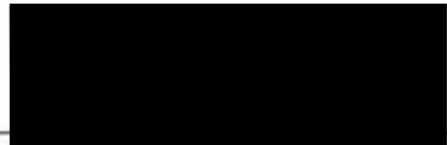
Re: Application for Consent
347 Sixth Line Road S. Dummer
Norwood, ON K0L 2V0

We would like you to consider allowing us to sever the property for the following reasons:

- 1) To convert the appr. 20 acres presently being used as aircraft runways back to farm land. We feel that it is important to convert the runways back to farm land to support the farming community.
- 2) It is necessary to keep the out buildings for personal use, storage and for a home-based business. It is very difficult to sell the farm land with the buildings (interested parties do not want the buildings). We would have to sell the whole property and re-locate. We do not want to move from our home.
- 3) We require more than one hector of land to encompass the well, the driveway, the solar panels, our home, the septic system and the two out buildings. Based on their location, it would be impossible to retain less land.



David Carlaw



Arlene Whidden

Clean Water Act
 Is the subject property within an area of Source Water protection under the Clean Water Act?
 Yes No
 If yes, has a notice been issued under Part IV of the Clean Water Act and submitted with the application?
 Yes No

8. Restrictions of Subject Land

Are there any easements or restrictive covenants (i.e. hydro, Bell) affecting the subject land?
 Yes No
 If yes, describe the easement or covenant and its effect:

9. History of Subject Lands

Is the subject land now, or has it been, the subject of an application for a Plan of Subdivision under Section 51 or a consent under Section 53 of the Planning Act?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Unknown <input type="checkbox"/>
If you answered yes please specify the file number of the application if known:			
Has the owner of the subject land severed any land from the original acquired parcel?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Unknown <input type="checkbox"/>
If you answered yes please specify the file number of the application if known:			

10. Other Current Applications

Is this land currently the subject of any other application under the Planning Act, such as an application for Official Plan Amendment, Zoning By-Law Amendment, Minor Variance, Minister's Order, or Power of Sale?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	Unknown <input type="checkbox"/>
If yes, please provide the following: Type: _____ File No. _____ Status: _____			

11. Request for Certificate for Retained Lands

Does the application include a request referred to in clause 53 (42.1) (a) of the Act for a Certificate of Official for the Retained lands.

Yes No

If yes, has the applicant provided a lawyer's statement that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening Section 50 of the Act.

Yes No

And, has the lawyer's statement must also provide a legal description for use in the requested Certificate of Official for the retained lands.

Yes No

12. Minimum Distance Separation (MDS)

Are there any barns within 750-1,500 metres of the subject property which Yes No currently house or are capable of housing livestock?

Are there any anaerobic digesters within 750-1,500 metres of the subject Yes No property?

If yes please complete an "MDS Data Sheet" for each barn

13. Agricultural Severances (for lands within the agricultural designation only)

N/A

Is the severance to dispose of a residence surplus to a farming operation Yes No (must have 2 houses)?

Is this severance to create a new farm parcel approximately 40 hectares (100 Yes No acres) in size?

Is this severance for a commercial or industrial "agriculture-related" use? Yes No

14. Adjacent Lands Surrounding the Landholding

If more room is needed, please add extra Schedule page.

Direction	Name of Owner (only when known to the applicant)	Use of Land – (must be filled in) (i.e. farm, residential etc.)	Buildings (must be filled in) (i.e. house, barn etc.)
North	[REDACTED]	FARM, RESIDENTIAL	HOUSE, BARN
South	[REDACTED]	FARM	N/A
East	[REDACTED]	FARM, RESIDENTIAL	HOUSE, BARN
West	[REDACTED]	RESIDENTIAL	HOUSE, GARAGE

15. Driving Directions

Please describe in detail driving directions to the subject property:

EAST OF WEBSTER ROAD ON THE SIXTH LINE OF SOUTH DUMMER LOT 347

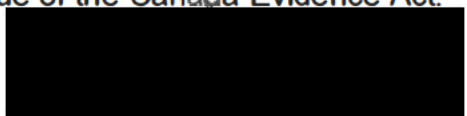
Declaration

This section must be signed before a Commissioner for Taking Affidavits or a designated Official of the Municipality

(i.e. Mayor, Reeve, Clerk, Secretary-Treasurer of the Land Division Committee, lawyer, etc.)

I/we, DAVID CARLAW AND ARLENE WHIDDEN of the Township, City, etc. of DOURO DUMMER, in the County/Region/Municipality, etc. of PETERBOROUGH, solemnly declare that all the statements contained in this application are true, and I make this solemn declaration as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the Town of Campbellford City, Township



Owner or authorized Agent

in the County County, Region, etc.


d Agent

of Northumberland

this 14th day of November, 2025


Commissioner, etc. for taking affidavits

BYRON GREGORY BASGA
A Notary Public in and for the
Province of Ontario

Personal information contained on this form is legally authorized under Sec.53 of the Planning Act and O.Reg.197/96 for the purpose of processing your planning application and will become part of a public record and will be disclosed/made available by the County to such persons as the County sees fit, including anyone requesting such information. Accordingly, in providing such information, you shall be deemed to have consented to its use and disclosure as part of the planning process.

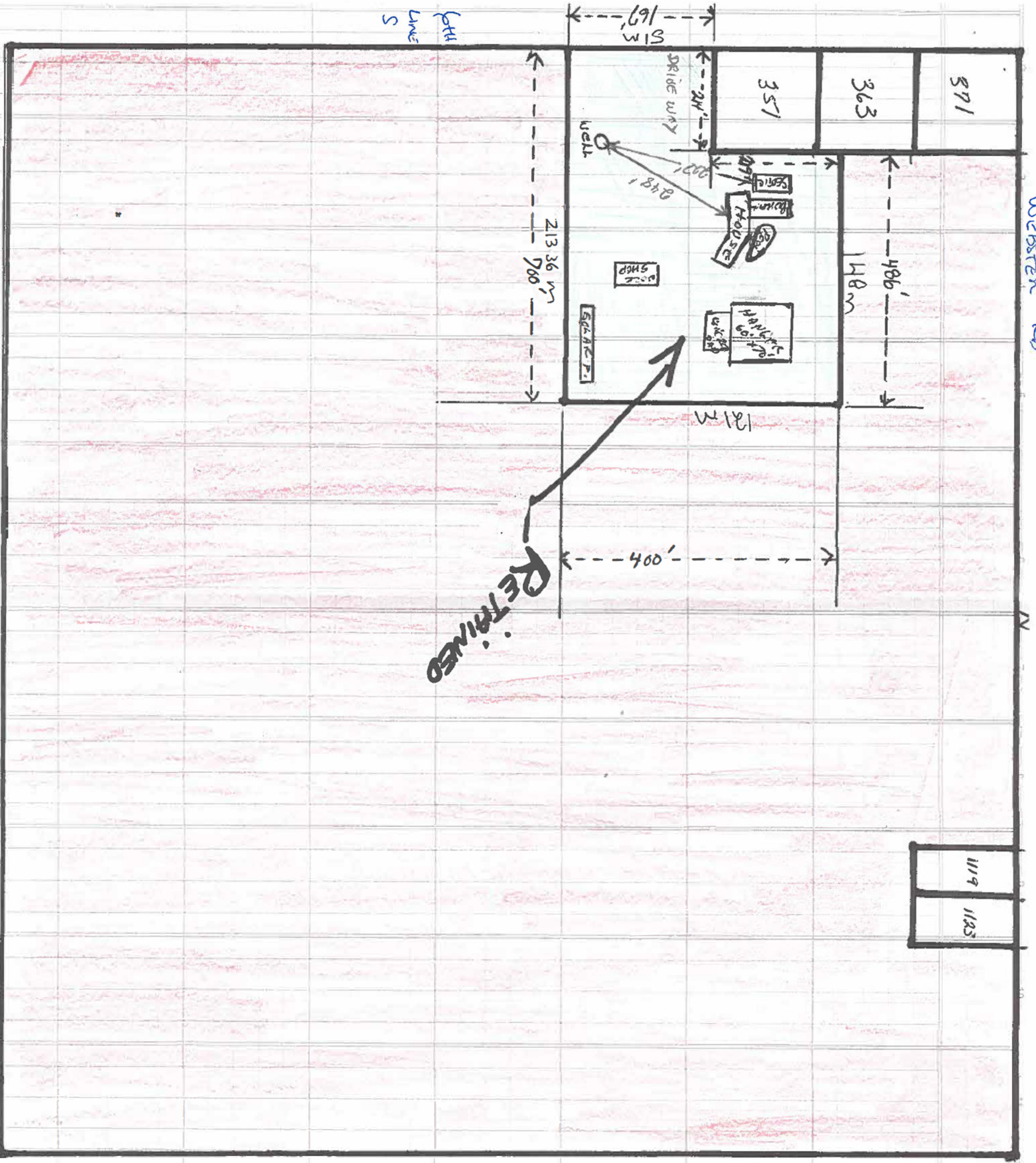
Pursuant to Sec.1.0.1 of the Planning Act, and in accordance with Sec.32(e) of the Municipal Freedom of Information and Protection of Privacy Act the County of Peterborough may make all planning applications and supporting material available to the public in hard copy or electronically. If you have any questions about the collection, use or disclosure of this information by the County of Peterborough, please contact the CAO or Clerk, County of Peterborough, 470 Water Street, Peterborough, Ontario K9H 3M3

An "original" signed copy of the application and sketch must be submitted, together with 1 copy of both the application and sketch. All copies of the sketch or survey must be coloured – red for severed lots, green for retained, yellow for right-of-way. Please submit application with a cheque for \$1150.00 payable to the "County of Peterborough".

SCALE 1/8" = 1 FOOT

S

FOUR
LINE
S



WESTERN

RETRAINED

EORN Cell Gap Project Monthly Update

March 2026

Regional view

	Planned	Completed	New this month
Upgrades to existing towers	311	311	n/a
New towers in service	257	182	8
New co-locations	89	78	0
Land use authority	257	256	0
Please note that this information is collected monthly and is subject to change as the project moves forward.			

Peterborough County

	Planned	Completed	New this month
Upgrades to existing towers	25	25	n/a
New towers in service	25	12	1
New co-locations	3	3	n/a
Land use authority	25	25	n/a
Please note that this information is collected monthly and is subject to change as the project moves forward.			

Note: data is updated by Rogers on the 15th of each month. Data provided for this update was received on March 15, 2026.

Peterborough County Uplifts Build Schedule

Tower identifier	Site name	Municipality	In-service plan
C0411	Lakehurst	Municipality of Trent Lakes	In-service
C2847	Kinmount	Municipality of Trent Lakes	In-service
C2934	Fynn's Corner	Municipality of Trent Lakes	In-service
C4166	Highway 501 at Catchacoma	Municipality of Trent Lakes	In-service
C0029	Norwood	Township of Asphodel-Norwood	In-service
C3397	Norwood Town	Township of Asphodel-Norwood	In-service
C4115	Hastings North	Township of Asphodel-Norwood	In-service
C2240	Highway 7A and Highway 115	Township of Cavan Monaghan	In-service
C2632	Highway 7 and Parkhill Road	Township of Cavan Monaghan	In-service
C3401	Millbrook	Township of Cavan Monaghan	In-service
C0049	Peterborough (CHEX relocate)	Township of Douro-Dummer	In-service
C2326	Lakefield	Township of Douro-Dummer	In-service
C2552	Gilchrist Bay	Township of Douro-Dummer	In-service

Peterborough County Uplifts Build Schedule

Tower identifier	Site name	Municipality	In-service plan
C0230	Havelock	Township of Havelock-Belmont-Methuen	In-service
C0282	Woodview	Township of North Kawartha	In-service
C0725	Apsley	Township of North Kawartha	In-service
C3074	Long Lake	Township of North Kawartha	In-service
C4118	Highway 28 and Apsley	Township of North Kawartha	In-service
C2633	Highway 7 and Highway 134	Township of Otonabee-South Monaghan	In-service
C3642	Highway 28 at South Monaghan	Township of Otonabee-South Monaghan	In-service
C2763	Fowler's Corners	Township of Selwyn	In-service
C3407	Trent University (Symons Campus)	Township of Selwyn	In-service
C3643	Selwyn	Township of Selwyn	In-service
C4298	Buckhorn	Township of Selwyn	In-service
C4381	Gannon Beach	Township of Selwyn	In-service

Peterborough County Co-location Build Schedule

Tower identifier	Site name	Municipality	In-service plan
C3948	Round Lake	Township of Havelock-Belmont-Methuen	In-service
C2316	Lasswade	Township of North Kawartha	In-service
C2381	Chandos Lake	Township of North Kawartha	In-service

Peterborough County New Tower Build Schedule

Tower identifier	Site name	Municipality	In-service plan
C8576	County 507 Road at Trent Lakes	Municipality of Trent Lakes	2026
C8577	Tullys Road at Bobcaygeon	Municipality of Trent Lakes	In-service
C8592	Allens Alley and Crystal Lake Road	Municipality of Trent Lakes	2026
C8593	White Lake Road at White Lake	Municipality of Trent Lakes	2026
C8594	Kawartha Highlands Provincial Park	Municipality of Trent Lakes	2026
C8575	County Road 36 at Trent Lakes	Municipality of Trent Lakes	In-service
C6504	Birdsalls	Township of Asphodel-Norwood	In-service
C8480	Mount Pleasant	Township of Cavan Monaghan	2026
C8725	Carmel Line at Millbrook	Township of Cavan Monaghan	In-service
C2857	Warsaw	Township of Douro-Dummer	In-service
C8697	South Dummer 5 th Line Road at Cottesloe	Township of Douro-Dummer	2026
C8638	12 Line Road Dummer at Beloporine Lake	Township of Douro-Dummer	In-service
C3915	Jack Lake East	Township of Havelock-Belmont-Methuen	2026
C3917	Cordova Lake and Island 12 Road	Township of Havelock-Belmont-Methuen	2026

Peterborough County New Tower Build Schedule

Tower identifier	Site name	Municipality	In-service plan
C3918	Barrette Lake	Township of Havelock-Belmont-Methuen	2026
C8643	Methuen Lake	Township of Havelock-Belmont-Methuen	2026
C3949	Rockdale	Township of Havelock-Belmont-Methuen	In-service
C8639	Fire Route 60 and Hubble Road	Township of Havelock-Belmont-Methuen	In-service
C2578	Stonyridge	Township of North Kawartha	2026
C3951	Jack Lake	Township of North Kawartha	2026
C3952	Jack Lake South	Township of North Kawartha	2026
C8858	Nicholson Road and 3 Line	Township of Otonabee-South Monaghan	In-service
C3471	Keene	Township of Otonabee-South Monaghan	In-service
C2387	Camp Kawartha	Township of Selwyn	In-service
C3400	Bridgenorth	Township of Selwyn	In-service

Newsletter

March 2026

EOWC Advocacy Update

The EOWC Attends Great Lakes Day 2026 in Washington, D.C.



Left-to-right: Nathan Townend, Vice-Chair, EOWC; Bonnie Clark, Chair, EOWC.

The EOWC was proud to represent eastern Ontario in Washington, D.C. as part of Great Lakes Day 2026, in partnership with the [Great Lakes and St. Lawrence Cities Initiative](#).

As the third-largest regional economy in the world, the Great Lakes–St. Lawrence region depends on strong cross-border collaboration, and eastern Ontario continues to play a key role in this dynamic binational corridor.

EOWC leadership, including Chair Bonnie Clark, Vice-Chair Nathan Townend, Secretary-Treasurer Sheridan Graham, and Executive Director Meredith Staveley-Watson, joined municipal leaders from across Canada and the United States for a series of high-level advocacy meetings. Together, the delegation held

10 meetings with U.S. congressional offices, embassy representatives, and key stakeholders.

As part of the delegation, municipal leaders called on U.S. government officials to:

- Preserve United States-Mexico-Canada (USMCA) and avoid new tariffs or tariff increases on Canada in 2026
- Partner with local governments and Indigenous communities to attract half a million new businesses to the Great Lakes region and increase traffic along the Seaway
- Reauthorize the Clean Water and Drinking Water State Revolving Funds to help close the water infrastructure gap
- Advance the Brandon Road Interbasin Project by releasing committed construction funds and removing administrative delays to protect the Great Lakes from invasive carp

[Learn More](#)



Left-to-right: Ryan Sorenson, Mayor, Sheboygan, WI; Sam Cunningham, Mayor, Waukegan, IL; Cavalier Johnson, Mayor, Milwaukee, WI; Alvin Tedjo, Councillor, Mississauga, ON; Chris Ronayne, Executive, Cuyahoga County, OH; Sea O'Meara, Councillor, Halton Region, ON; Tom Mrakas, Mayor, Aurora, ON; Lauren Anderson, Councillor, Chatham-Kent, ON; Byron Nolen, Mayor, Inkster, MI; Iain Lovatt, Mayor, Whitchurch-Stouffville, ON; Bonnie Clark, Chair, EOWC; Lew Conner, Mayor, Two Harbors City, MN; Marcus Muhammad, Mayor, City of Benton Harbor, MI; Peter Frost, Councillor, Township of the Archipelago, ON; Jack Bradley, Mayor, Lorain, OH; Mat Siscoe, Mayor, St. Catharines, ON.

The EOWC Opposes the ALTO High-Speed Train Project in its Current Form

On March 19, the EOWC Board of Directors passed a resolution opposing the Alto high-speed rail project as currently proposed. While supportive of strategic infrastructure in eastern Ontario, the EOWC emphasizes that projects must strengthen, not compromise, our rural and small-urban communities, businesses, and lands.

Key asks from the EOWC include:

- Full project and route details
- Clear understanding of local, environmental, and infrastructure impacts
- Meaningful engagement with municipalities, residents, First Nations, businesses, and regional partners
- Exploration of train routes along existing infrastructure corridors

The EOWC Attends Minister Flack's Empire Club Event



Left-to-right: Rob Flack, Minister, Ministry of Municipal Affairs and Housing; Nathan Townend, Vice-Chair, EOWC.

The EOWC attended the Empire Club of Canada's lunch featuring Minister Rob Flack, where discussions focused on the Ontario government's latest actions to address the housing crisis.

Amid rising home prices, slowing construction, and ongoing economic pressures, the event highlighted efforts to reduce red tape, accelerate development, and better support communities across the province.

With eastern Ontario's population expected to grow by more than 35% by 2051, the EOWC remains committed to working with all levels of government and partners to increase housing supply, strengthen infrastructure, and support sustainable, long-term growth across the region.

The EOWC Attends Minister Bethlenfalvy's Pre-Budget Address



Left-to-right: Marcus Ryan, Chair, WOWC; Peter Bethlenfalvy, Minister, Ministry of Finance; Bonnie, Chair, EOWC.

Ahead of the Ontario Budget, the EOWC was pleased to take part in an event hosted by the Empire Club of Canada featuring Minister Peter Bethlenfalvy. EOWC Chair Bonnie Clark joined leaders and partners to discuss the province's economic priorities and outlook.

The EOWC Shares 2026 Ontario Budget Statement

The EOWC has shared its reflections on the [2026 Ontario Budget](#), titled "A Plan to Protect Ontario," noting how it aligns with priorities outlined in [the EOWC's pre-budget submission](#).

The statement highlights investments in municipal infrastructure, housing, health services, and economic development that support eastern Ontario communities. The EOWC emphasizes the importance of continued provincial support to strengthen rural and small-urban municipalities, improve services, and build resilient communities across the region.

[Learn More](#)

EOWC Advocacy Win: Ontario Proposes Expanded HST Rebate to Boost Housing Affordability

The [Ontario government is proposing to remove the full 13% HST on eligible new homes](#) valued up to \$1 million, providing rebates of up to \$130,000 to make homeownership more affordable. In partnership with the federal government, this initiative could deliver nearly \$2.2 billion in joint tax relief, while encouraging new

home construction. The temporary measure is expected to stimulate thousands of housing starts, support job creation, and ease costs for families entering the housing market.

This represents a significant advocacy win for the EOWC, as it reflects recommendations submitted in [the EOWC's letter](#) to Minister Gregor Robertson and Ms. Ana Bailão regarding the implementation of Build Canada Homes.

The EOWC Attends Elect Respect Queen's Park Day



Elect Respect Representatives, led by Marianne Meed Ward, Mayor of Burlington.

The EOWC was pleased to join [Elect Respect](#) at Queen's Park for their advocacy day, standing in support of respectful and inclusive public service. The day provided a valuable opportunity to connect with leaders and reinforce a shared commitment to fostering safe, respectful environments for all.

[Take the Pledge](#)

The EOWC Hosts the Municipal Climate Interns at March Board Meeting



Left-to-right: Sarah Fencott, Municipal Climate Intern, Bruce County; Nathan Townend, Vice-Chair, EOWC; Larissa Coulas, Municipal Climate Intern, Renfrew County; Lindsay Winters, Municipal Climate Interns, Municipality of Port Hope; Ashtyn Nauffts, Municipal Climate Intern, Prince Edward County; Bonnie Clark, Chair, EOWC; Dexter Adkin, Municipal Climate Intern, Peterborough County; Ben Hicks, Municipal Climate Intern, Prince Edward County; Shania Dennall, City of Niagra Falls, Municipal Climate Intern, EOWC.

The EOWC was pleased to welcome the [Municipal Climate Interns](#) to its Board of Directors meeting on March 19.

The interns shared updates on their work to date within their host municipalities, while also gaining valuable insight into municipal governance and current advocacy efforts across eastern Ontario.

The EOWC Attends the 99th ORBA Convention



Left-to-right: Bonnie Clark, Chair, EOWC; Mark Mallett, President, ORBA.

The EOWC was pleased to attend the 99th [Ontario Road Builders' Association](#) Convention alongside partners from across the infrastructure sector.

Eastern Ontario plays a critical role in connecting Canada's two largest cities and is home to key trade-enabling highways, roads, and bridges that keep goods and people moving. The EOWC continues to emphasize that investing in infrastructure is investing in economic growth, with member municipalities at the forefront of building and maintaining strong, connected communities.

The EOWC also extends congratulations to incoming Ontario Road Builders' Association President, Mark Mallett.

Ontario Rehabilitates County Road 49 in Prince Edward County



Left-to-right: Ric Bresee, MPP, Hastings-Lennox and Addington; Steve Ferguson, Mayor, Prince Edward County; Tyler Allsopp, MPP, Bay of Quinte.

[Ontario is funding the rehabilitation of 18.4 km of County Road 49 between Picton and the Bay of Quinte Skyway Bridge](#), addressing one of the province's most deteriorated roads. The upgrades, including repaving, new culverts, and guiderail improvements, will enhance safety, and support the movement of people and goods.

Ontario Advances Highway 17 Expansion in Eastern Ontario



Left-to-right: Billy Denault, MPP, Renfrew - Nipissing - Pembroke; Ric Bresee, MPP, Hastings - Lennox and Addington; Jennifer Murphy, Warden, County of Frontenac

The [Ontario government has taken the next step toward widening Highway 17 between Renfrew and Arnprior](#), issuing a Request for Proposals to design the expansion from two to four lanes. Spanning 22.5 kilometres, this project will strengthen a key Trans-Canada trade corridor, improve traffic flow, and support job creation during construction. Building on earlier upgrades completed in 2023, the expansion aims to boost economic resilience, enhance regional connectivity, and ensure safer travel for residents and businesses across eastern Ontario.

New Affordable Seniors Housing Coming to Belleville



The [Ontario and federal governments are investing \\$375,000 to support affordable housing for seniors in Belleville](#), including 18 rent-geared-to-income units at the new Epworth Place development. Part of a broader effort to address the housing crisis, the project will provide a mix of affordable and market-rate apartments with community-focused amenities. Construction is underway, with residents expected to move in later this summer.

Ontario Advances Plans for Major Nuclear Project in Port Hope



Ontario has secured a key agreement to advance [a proposed nuclear generating station at the Wesleyville site in Port Hope](#), a project poised to become the largest of its kind in the world. The development could create over 10,500 jobs and contribute an estimated \$235 billion to the provincial economy while delivering reliable, clean power to millions of homes. The project marks a significant step toward meeting rising energy demand and supporting long-term economic growth.

New HART Hub Opens in Renfrew County to Support Recovery

[Ontario has launched a Homelessness and Addiction Recovery Treatment \(HART\) Hub in Renfrew County](#), expanding access to integrated mental health, addictions, and social services. The facility provides treatment, supportive housing, employment counseling, and basic needs assistance, helping individuals facing housing instability and substance use challenges on their path to recovery.

Ontario Moves Forward on New Brockville Correctional Complex



[Ontario is issuing a Request for Qualifications to build the new Brockville Correctional Complex and expand the St. Lawrence Valley Correctional and Treatment Centre](#), adding 295 beds in eastern Ontario. This initiative is part of a provincewide plan to add 1,436 correctional beds by 2032, strengthening bail enforcement and ensuring space is available to keep serious and repeat offenders behind bars.

Ontario Investing \$45M to Repair Municipal Roads and Bridges

The [Ontario government is providing \\$45 million through the 2026-27 Connecting Links program](#) to help 20 municipalities repair roads and bridges that connect communities, support local jobs, and facilitate the movement of goods. Funding will support 21 projects across the province, boosting infrastructure reliability and economic growth.

This includes the following eastern Ontario municipalities:

- Bancroft
- Centre Hastings
- Havelock-Belmont-Methuen
- Loyalist Township
- Madawaska Valley
- Smith Falls



EORN

EASTERN ONTARIO REGIONAL NETWORK

EORN continues to move forward on key activities:

- Submitted comments to the CRTC on the Mobile Reporting Standards (CRTC 2026-9) consultation
- Annual General Meeting scheduled for April 16, 2026
- February project updates shared with municipalities, MPs, and MPPs

Regional Updates and News

Ontario



Ontario Invests \$2M to Build More Accessible Communities

The [Ontario government is investing over \\$2 million through the new Enhancing Access to Spaces for Everyone Grant](#) to support more than 40 projects aimed at improving accessibility for seniors and people with disabilities. Funding will help municipalities, non-profits, and Indigenous communities upgrade spaces with features like ramps, elevators, accessible washrooms, and safer pathways.

Ontario Invests \$21.5M to Strengthen Long-Term Care Workforce

The [Ontario government is investing over \\$21 million to train and upskill 700 long-term care staff](#), with a focus on supporting rural and northern communities. Through expanded Learn and Earn programs, existing workers will have opportunities to become personal support workers and registered practical nurses while continuing to work. This investment aims to strengthen staffing, improve quality of care for residents, and support career growth within the long-term care sector across the province.

Ontario Leads Historic Agreement to Build National Energy

Ontario has secured a landmark agreement with provinces and territories across Canada to strengthen and connect the country's electricity systems through [a new national energy corridor](#). The partnership will advance transmission infrastructure, expand electricity trade, and support a more reliable and resilient grid to meet growing demand.

Ontario Expands Support for Rural and Northern Livestock Producers

The [Ontario government is modernizing the Veterinary Assistance Program to improve access to veterinary care for livestock producers in Northern and rural communities](#). Updates include expanded eligibility, streamlined applications, increased compensation rates, and coverage for additional livestock such as honeybees and fish. These changes aim to strengthen the agri-food sector, support veterinarians, and ensure farmers have reliable services to maintain healthy livestock and resilient operations.

Ontario Commits Up to \$90M for Ice Storm Recovery

The [Ontario government is providing up to \\$90 million to help municipalities recover from the March 2025 ice storm](#), which caused widespread damage and power outages across central and eastern Ontario. Through the Municipal Ice Storm Assistance program, 59 communities are receiving initial funding to support emergency response efforts and cleanup costs, helping restore local infrastructure and services.

Upcoming Events



**GREAT LAKES AND
ST. LAWRENCE**
CITIES INITIATIVE

GLSLCI Conference

The Great Lakes St. Lawrence Cities Initiative will be hosting their annual conference from May 6-8, 2026, in Hamilton, Ontario.

[Register](#)



EOWC 2026 Queen's Park Advocacy Day

On May 11, 2026, the EOWC will head to Toronto for our Queen's Advocacy Day, advocating for the needs of eastern Ontario's 103 municipalities.



2026 CAMA Conference

From May 25-27, 2026, CAMA will host their 52nd Annual Conference and Annual General Meeting at the Whistler Convention Centre, in Whistler, British Columbia.

[More information](#)

Connect With Us on LinkedIn, Facebook and X



About the EOWC

The EOWC is a regional non-profit organization representing 13 upper and single-tier municipalities across eastern Ontario. The EOWC supports and advocates on behalf of 103 municipalities and serves 1.1 million residents. The EOWC covers an area of approximately 50,000 square kilometers from Northumberland County to the Québec border.

media, and the public.

Visit the EOWC's website at eowc.org.

Connect with the EOWC

2026 Chair, Warden of Peterborough County, Bonnie Clark

2026 Vice-Chair, Warden of Lennox and Addington County, Nathan Townend

Executive Director, Meredith Staveley-Watson

info@eowc.org



Meredith Staveley-Watson, Director of Government Relations and Policy | 235 Pinnacle Street | Belleville,
ON K8N 3A9 CA

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Try email marketing for free today!

Date: March 31, 2026

From: Amanda Holmes, Assistant Deputy Minister, Provincial Services Division,
Ministry of Natural Resources

Subject: **New regulations under the *Wildland Fire Management Act (WFMA)***

We are writing to let you know that the Ministry of Natural Resources posted a regulation decision notice on the Environmental Registry of Ontario (ERO) today (see notice number [025-1041](#)) to support the modernization of wildland fire management.

Ontario is building stronger and more resilient communities by addressing the growing risks of wildland fires through regulatory changes that will enhance prevention, mitigation and response efforts across the province.

A decision was made to implement the following regulatory proposals:

- to establish a framework for issuing administrative monetary penalties (AMPs), and
- to make updates to the Outdoor Fires regulation.

On March 13, 2026, O. Reg. 44/26 ([Administrative Penalties](#)) was filed and takes effect April 1, 2026. This new regulation sets out the framework for issuing AMPs under section 35.2 of the *Wildland Fire Management Act (WFMA)*. Under this regulation, an AMP may be issued for contraventions of the WFMA and its regulations.

On March 13, 2026, O. Reg. 43/26 ([Wildland Fire Management](#)) was filed and takes effect April 1, 2026. The changes to O. Reg. 207/96 (Outdoor Fires) were made by revoking the regulation and replacing it with the Wildland Fire Management regulation. The changes were made to help the ministry continue to safeguard public safety and the sustainable management of natural resources.

The ERO notice also included a proposal to prescribe the rates, terms and conditions for when equipment and operators are summoned to support wildland fire emergencies. The ministry is continuing to consider feedback received on this proposal. The ERO notice will be updated when a decision has been made.

If you have any questions about the Administrative Penalties regulation or the Wildland Fire Management regulation, you can reach out directly to the team at the Ministry of Natural Resources at wildlandfire@ontario.ca.

Sincerely,

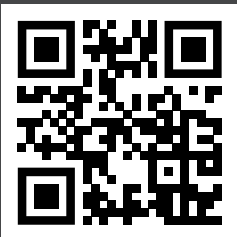
A handwritten signature in black ink, appearing to be the name 'Amanda' written in a cursive style.

Amanda Holmes
Assistant Deputy Minister, Provincial Services Division
Ministry of Natural Resources

2026 CENSUS COLLECTION ACROSS CANADA

The 2026 Census begins in May!

- Collection begins on **May 4** across Canada.
- Census data are essential for planning programs and services that support employment, public transit, education, health care and more.
- Households will receive a census invitation letter in the mail starting in May with instructions on how to complete their questionnaire.
- The census questions will be available in alternate formats and **28 non-official languages** for reference purposes.
- All information is collected under the authority of the *Statistics Act* and will be kept strictly confidential.



More details about the 2026 Census can be found at
census.gc.ca



*Brenda Orchard
President / Présidente*

*Marc Melanson
First Vice-President /
Premier vice-président*

*Gary Kent
Second Vice-President /
Deuxième vice-président*

*Raffaella Di Stasio
Treasurer / Trésorière*

*Tony Kulbisky
Past President /
Président sortant*

*Evan Parliament
Director / Directeur*

*Troy Fleming
Director / Directeur*

*Shawna LeBlanc
Director / Directrice*

*Jeff Gushue
Director / Directeur*

*Yves Leger
Director / Directeur*

*Lisa Niblock
Director / Directrice*

*Tracy Thomas
Director / Directrice*

*Jennifer Goodine
Executive Director
Directrice générale*

March 30, 2026

Mayor Heather Watson
Corporation of the Township of Douro Dummer
894 South Street
Warsaw, ON
K0L 3A0

Dear Mayor Watson,

The Long Service Recognition Awards Program of the Canadian Association of Municipal Administrators (CAMA) is dedicated to honoring and celebrating the dedication of our members to public service and municipal management, a cornerstone priority for our Association. These awards are based on the duration of full-time, paid employment in municipal government, specifically in management roles such as Chief Administrative Officer or those reporting directly to them. Recognition is granted at the ten-year mark and subsequently in five-year intervals.

This year, it is our privilege to acknowledge the commitment of your Chief Administrative Officer, Todd Davis, for his remarkable fifteen years of service in municipal government management roles. Todd's dedication to his role has undoubtedly contributed to the advancement of your municipality, and we are pleased to recognize his achievements. His Certificate of Recognition has been mailed to him directly.

We invite you to assist us in recognizing Todd for this milestone, perhaps through a special presentation at City Council, in acknowledgement of his continued contributions to the municipal profession.

In closing, we wish to express our heartfelt appreciation to City Council for their unwavering support of Todd as a valued member of CAMA.

Sincerely,



Brenda Orchard
CAMA President

cc Todd Davis

CAMA
P. O. Box 128, Station A
Fredericton, NB
CANADA
E3B 4Y2

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C.P. 128, succ. A
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E3B 4Y2

Tel./ Tél.: 1-866-771-2262
E-Mail / Courriel:
admin@camacam.ca

www.camacam.ca

Recommendation:

That the report Planning-2026-12, dated April 21, 2026, regarding Official Plan Amendment File 15OP-25011 and Zoning By-law Amendment File R-03-25 be received; and

That Council receive all comments related to Files 15OP-25011 and R-03-25; and

That Council direct Staff to advise the County of Peterborough that, provided the County of Peterborough Planning Department recommends the approval of Official Plan Amendment File 15OP-25011 to County Council, the Township of Douro-Dummer supports Official Plan Amendment File 15OP-25011 which represents Amendment No. 85 to the County Official Plan; and

That Council defer a decision on Zoning By-law Amendment File R-03-25 until such a time as County Council has made a decision on Official Plan Amendment File 15OP-25011.

Overview:

On behalf of the Owner, Kevin McKrow (WND Associates) (Agent) has filed concurrent Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) applications with the County of Peterborough and the Township of Douro-Dummer, respectively. The OPA application was deemed complete by the County of Peterborough on August 22, 2025, and was assigned file number 15OP-25011. This file represents OPA No. 85 to the County Official Plan. The ZBA application was deemed complete by the Township of Douro-Dummer on August 28, 2025, and was assigned File Number R-03-25. Notice of Complete OPA and ZBA applications was provided jointly by the County and the Township on September 5, 2025. A copy of the Notice of Complete Application is attached to this Report.

The property subject to the OPA and ZBA applications is located in Part of Lots 32 and 33, Concession 11, in the Dummer Ward, municipally known as 1842 South Bayshore Road East and assigned Roll Number 1522-020-005-57900. According to information provided in the applications, the subject property has an area of approximately 0.8 hectares with approximately 236 metres of shoreline frontage on Stony Lake. The subject property is located on a peninsula and is irregular in configuration. Access to the subject property is from South Bayshore Road East, being a private road.

The subject property is currently developed for recreational residential use in the form of a single detached recreational dwelling with attached open decks, boathouse, and utility sheds. The existing dwelling is non-complying due to deficient water yard setbacks. The water yard setbacks for the existing dwelling are as follows: 15.72 metres to the North, 6.43 metres to the East, and 37.2 metres to the South. The existing development is serviced by a privately owned and operated septic system and water supply is drawn from Stony Lake. The existing development is shown on the attached site plan.

The Owner wishes to demolish the existing one-storey dwelling having an area of 174.74 square metres and replace it with a new two-storey dwelling with a ground floor area of 423.6 square metres and a gross floor area of 698 square metres. The proposed water yard setbacks for the new dwelling are as follows: 12.73 metres to the North, 13.75 metres to the East, and 18.11 metres to the South. Landscaped terraces are proposed at the northeast corner and along a portion of the southern face of the new dwelling, and a covered porch is proposed at the rear. The proposed development will be serviced by a new privately owned and operated septic system and water supply will continue to be drawn from Stony Lake. The proposed septic system will be set back a minimum of 30 metres from the high-water mark in all directions. The existing utility sheds are proposed to be removed to accommodate the proposed dwelling. The proposed development is shown on the attached site plan.

The Township's Official Plan designates the property as Lakeshore Residential. The property is primarily zoned the Limited Service Residential Zone (LSR) with a portion of the property along the shoreline zoned the Environmental Conservation Provincially Significant Wetland Zone (EC(P)) corresponding to the Hull South Bay Provincially Significant Wetland (PSW). The proposed dwelling will be located within the portion of the property zoned the LSR Zone. A recreational dwelling is a permitted use in the Lakeshore Residential designation and the LSR Zone; however, the Official Plan and Zoning By-law require that all new development be located a minimum of 30 metres from the high-water mark.

The purpose of the OPA is to introduce a site-specific policy within Section 6.2.6.4 of the Official Plan which serves to permit a recreational dwelling to have a water setback less than 30 metres. A copy of Draft OPA No. 85 is attached to this Report.

The purpose of the ZBA is to rezone a portion of the property from the Limited Service Residential Zone (LSR) to the Special District 263 Holding Zone (S.D. 263 (H)) to facilitate the construction of the new dwelling as proposed. Specifically, the S.D. 263 (H) Zone will permit minimum water yard setbacks of 12.73 metres, 13.75 metres, and 18.11 metres to the North, East, and South, respectively, for the proposed dwelling whereas minimum water yard setbacks of 30 metres are otherwise required. The S.D. 263 (H) Zone will also permit a maximum building height of 9.21 metres for the proposed dwelling whereas the maximum building height otherwise permitted is 9 metres. The proposed Holding (H) Provision will require the Owner to enter into a Site Plan Agreement with the Township.

A copy of the Draft By-law is attached to this Report.

In support of the applications, the following documents were submitted:

- Architectural Plans, prepared by Jason Cutajar Architectural Design, November 13, 2024;

- Grading and Erosion & Sedimentation Control Plan, prepared by SitePlanTech Inc., dated June 27, 2025;
- Planning Rationale Report, prepared by WND Associates, dated July 2025;
- Scoped Environmental Impact Study, prepared by Oakridge Environmental, dated July 2025; and,
- Stage 1/2 Archaeological Assessment, prepared by Northeastern Archaeological Associates Ltd., dated June 2, 2025.

Following the technical review of the applications, County and Township Planning Departments provided comments to the Agent indicating that the applications failed to provide adequate justification for the location of the proposed dwelling and further encroachment towards the waterbody. In the initial submission, the water yard setbacks for the new dwelling were proposed to be: 12.89 metres to the North, 11.81 metres to the East, and 13.07 metres to the South. The peer reviewer of the scoped Environmental Impact Study (sEIS) similarly found that the sEIS lacked a fulsome qualitative and quantitative analysis supporting the further encroachment towards the waterbody and associated PSW. The peer reviewer recommended that additional discussion be added to the sEIS regarding possible development alternatives as is required by the Official Plan.

The OPA and ZBA applications were revised, updated, and resubmitted to the County and the Township in response to comments provided by these Planning Authorities regarding the initial submission. The resubmission includes the following documents:

- Revised Architectural Plans, prepared by Jason Cutajar Architectural Design, prepared December 15, 2025;
- Renderings, prepared by WND Associates, dated December 2025;
- Revised Lot Grading and Drainage Plan, prepared by SitePlanTech Inc., dated December 6, 2025;
- Environmental Impact Study Addendum, prepared by Oakridge Environmental, dated December 16, 2025; and,
- Tree Inventory and Planting Plan, prepared by Beyond the Post, dated December 15, 2025.

Following the technical review of the applications, the County and Township determined that the comments on the initial submission had been sufficiently addressed to proceed to a public meeting.

A Notice of Public Meeting dated March 31, 2026, was provided by ordinary mail to all landowners within 120 metres of the subject property. A copy of the Notice of Public Meeting is attached to this Report. Notices were posted on the road and shoreline frontages of the subject property, as well as at the intersections of South Bayshore Road East and South Bay Road, and South Bay Road and County Road 6. The prescribed persons and public bodies were provided Notice via email, and the Notice

was made available on the County and Township websites. The notice circulation complies with the requirements of the Planning Act.

Planning Staff from the County of Peterborough are present to speak to the purpose and effect of the OPA application, the peer review of the supporting documents, Official Plan and Provincial Planning Statement conformity, to any comments received from the prescribed persons and public bodies and the next steps in the OPA process.

Senior Staff from the Township were circulated for comment on March 31, 2026. No comments or concerns were received.

As of the time of writing this Report, Township Staff have not received any comments from members of the public as they relate to this application.

Provincial Planning Statement (PPS) 2024:

The PPS, 2024 is considered a policy statement for the purpose of Section 3 of the Planning Act. All municipal decisions, as well as comments, submissions or advice affecting planning matters, are required to be consistent with the PPS pursuant to subsections 3(5) and 3(6) of the Planning Act.

The subject property is considered Rural Lands as per Section 2.6 of the PPS. Permitted uses on Rural Lands include resource-based recreational uses, including recreational dwellings not intended as permanent residences (s. 2.6.1 b)). Development that can be sustained by rural service levels shall be promoted (s. 2.6.2) and development shall be appropriate to available or planned infrastructure (s. 2.6.3).

The existing and proposed use of the property is permitted under the policies of the PPS. Given that the applications are seeking to permit the replacement of an existing recreational dwelling and that the proposed development will be privately serviced in terms of access, water supply, and sewage disposal, no additional demands on rural service levels or municipal infrastructure are anticipated.

Section 4.1 of the PPS contains policies pertaining to Natural Heritage. Development and site alteration shall not be permitted in significant wetlands in Ecoregion 5E (s. 4.1.4 a)). Development and site alteration are similarly prohibited in fish habitat and the habitat of endangered species and threatened species, except in accordance with provincial and federal requirements (ss. 4.1.6, 4.1.7). Before development and site alteration may proceed on lands adjacent to the natural heritage features listed in policies 4.1.4, 4.1.5, and 4.1.6, the ecological function of the adjacent lands must be evaluated, and it must be demonstrated that there will be no negative impacts on the natural features or on their ecological functions (s. 4.1.8). Based on peer review comments, the sEIS and addendum appear to demonstrate that the applications are generally consistent with Section 4.1 of the PPS.

Section 4.6 of the PPS speaks to Cultural Heritage and Archaeology. Planning Authorities are prohibited from permitting development and site alteration on lands containing archaeological resources or in areas or archaeological potential unless the significant archaeological resources have been conserved (s. 4.6.2). A Stage 1/2 Archaeological Assessment was completed and submitted in support of the applications. The Stage 1 Assessment determined that the property is in an area of high archaeological potential given its proximity to water and registered archaeological sites. No archaeological resources were discovered as a result of the Stage 2 Assessment. No further archaeological assessment was recommended by the consultant.

Comments provided by Otonabee Conservation following the circulation of the resubmission provide that the application demonstrates that the proposed development will be outside of the PSW and the floodplain of Stony Lake. The application is consistent with Chapter 5 of the PPS referencing Natural Hazards.

The applications appear to be consistent with the PPS.

Official Plan:

The subject property is designated Lakeshore Residential as shown on Schedule 'A4-3' to the Official Plan. The permitted uses of the Lakeshore Residential designation include a single detached recreational dwelling (s. 6.2.6.2).

Policies of the Lakeshore Residential designation require that all new buildings and structures be located a minimum of 30 metres from the shoreline of any lake or major watercourse in order to minimize environmental and visual impacts to the shoreline and waterbody (s. 6.2.6.3 c)).

Structures legally existing as of October 22, 2008, which require replacement due to structural defect or destruction due to natural causes or by permission of the Township may be replaced on the same footprint and enlarged in accordance with the Zoning By-law, provided the enlargement does not further encroach into the 30-metre water setback (s. 6.2.6.3 c)). Given the substantial change to the footprint of the dwelling and that the proposed dwelling will further encroach towards the northern and southern shorelines, the proposed development no longer benefits from the above exemption and is required to meet the 30-metre water setback. The OPA application therefore proposes to permit the construction of the proposed dwelling within 30 metres of the high-water mark of Stony Lake.

The irregular shape of the lot constrains the area of the building envelope outside of the 30-metre water setback. The area outside of the 30-metre water setback has been reserved for the installation of the new septic system. While there are no significant physical constraints to locating the proposed dwelling closer towards the interior of the lot, the applications identify a limited number of mature trees which would require removal to facilitate such.

The proposed dwelling appears to be in keeping with the nature and scale of development in the surrounding area. The proposed location for the new dwelling generally aligns with the established building line of dwellings constructed prior to the introduction of the 30-metre water setback requirement. The compensatory tree plantings are anticipated to mitigate visual impacts associated with the proposed development in the long term.

Following a technical review of the resubmission, the peer reviewer determined that the addendum to the sEIS together with the Tree Inventory and Planting Plan assist with demonstrating consistency with the PPS and Official Plan and agreed with the opinion offered by Oakridge Environmental Ltd. that no net negative environmental impacts are anticipated to result from the proposed redevelopment, provided the recommended mitigation measures and other applicable provincial legislation protecting Species at Risk (SAR) are complied with.

The applications appear not to conflict with the Official Plan.

Zoning By-law:

The subject property is primarily zoned the Limited Service Residential Zone (LSR) as shown on Schedule B10 to By-law No. 10-1996, as amended. A portion of the property along the shoreline is zoned the Environmental Conservation Provincially Significant Wetland Zone (EC(P)) relating to the Hull South Bay PSW. The proposed development will be located on the portion of the property currently zoned the LSR Zone.

A single detached recreational dwelling is a permitted use in the LSR Zone, subject to meeting the applicable regulations of the By-law. The minimum water yard setback for buildings and structures in the LSR Zone is 30 metres. As previously noted, the water yard setbacks for the proposed dwelling are as follows: 12.73 metres to the North, 13.75 metres to the East, and 18.11 metres to the South. The maximum building height for a recreational dwelling in the LSR Zone is 9 metres. The ZBA application seeks to permit a maximum building height of 9.21 metres for the proposed dwelling. The proposed rezoning from the Limited Service Residential Zone (LSR) to the Special District 263 Holding Zone (S.D. 263 (H)) will implement the requested reduced water yard setbacks and additional building height for the proposed dwelling.

The Holding (H) Provision will require the Owner to enter into a Site Plan Agreement with the Township. The Township's Site Plan Control By-law No. 2025-09 authorizes Township Staff to apply site plan control to any project within 120 metres of a wetland or an inland lake (ss. 5.6 i) and ii)). The application of site plan control is required given the close proximity and further encroachment of the proposed development toward Stony Lake and the Hull South Bay PSW, as well as the need to implement mitigation measures recommended in the sEIS and addendum and to ensure that tree removals

and compensatory tree planting are executed in accordance with the submitted Tree Inventory and Planting Plan.

An application for Site Plan Approval was recently filed with the Township and is currently under review. If the Site Plan Approval application is deemed complete before approval of the ZBA is sought, the Holding (H) Provision may be omitted from the Draft By-law.

Given that the Zoning By-law is required to conform to the Official Plan, the proposed ZBA will not conform to the Official Plan until the proposed OPA is approved by County Council.

Conclusion:

OPA File 15OP-25011 (OPA No. 85) proposes to add a site-specific policy to Section 6.2.6.4 of the Official Plan which serves to permit a recreational dwelling to have a water setback less than 30 metres.

ZBA File R-03-25 proposes to rezone a portion of the subject property from the Limited Service Residential Zone (LSR) to the Special District 263 Holding Zone (S.D. 263 (H)) to permit reduced water yard setbacks and an increased maximum building height to facilitate the construction of the new dwelling as proposed.

Upon receiving all comments related to OPA File 15OP-25011 and ZBA File R-03-25; and provided that no additional information and/or concerns requiring further investigation are raised, it is recommended that Council direct Staff advise the County of Peterborough that, provided the County of Peterborough Planning Department recommends the approval of OPA File 15OP-25011 to County Council, the Township of Douro-Dummer supports proposed OPA File 15OP-25011 which represents Amendment No. 85 to the County Official Plan.

It is further recommended that Council defer a decision on ZBA File R-03-25 until such a time as County Council has made a decision on Official Plan Amendment File 15OP-25011.

Once the Public Meeting for OPA File 15OP-25011 and ZBA File R-03-25 has been completed, the County Planning Department will prepare a Report for consideration by County Council, and the Township will be advised of the date it will be considered by County Council.

Financial Impact:

All expenses are incurred by the applicant.

Township of Douro-Dummer Strategic Plan 2023-2027



Service Modernization and Innovation

Modernizing, refining and innovating services for residents is essential to effectively meet the needs of our community, enhance our operational efficiency, and ensure we remain adaptable in a rapidly changing world.



Business Attraction, Expansion, and Retention

Business attraction, expansion, and retention is vital for the economic health and sustainability of our Township, such as job creation, tax revenue, investing in innovation, maintaining our quality of life, and supporting community stability.



Infrastructure Renewal

Infrastructure renewal is a critical investment for our Township as it will ensure our adherence to health and safety, economic development, investment attraction, environmental sustainability, quality of life, public confidence, and regional competitiveness.

Report Approval Details

Document Title:	15OP-25011 and R-03-25 - Planning-2026-12.docx
Attachments:	<ul style="list-style-type: none"> - 15OP-25011 and R-03-25 - Notice of Public Meeting.pdf - 15OP-25011 and R-03-25 - Notice of Complete Application.pdf - 15OP-25011 OPA Full Document DRAFT 14Apr26.pdf - R-03-25 - Draft By-law.pdf - Cover Letter_1842 South Bayshore Road E.pdf - Revised Architectural Plans_1842 South Bayshore Road E.pdf - Renderings_1842 South Bayshore Road E.pdf - Lot Grading and Drainage Plan_1842 South Bayshore Road E.pdf - Planning Rationale Report_1842 South Bayshore Road East.pdf - Scan_sEIS.pdf - Sacn_EIS Addendum.pdf - Tree Inventory and Planting Plan_1842 Soth Bayshore Road E.pdf
Final Approval Date:	Apr 16, 2026

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis



**The Corporation of the
County of Peterborough
and
The Corporation of the
Township of Douro-Dummer**



**Notice of Public Meeting for an
Official Plan Amendment and Zoning By-Law Amendment**

Take notice that the Corporation of the County of Peterborough has previously provided Notice of Complete Application for an Official Plan Amendment (OPA) in accordance with Section 22(6.4) of the *Planning Act*. The application has been assigned file number 15OP-25011.

And take notice that the Corporation of the Township of Douro-Dummer has previously provided Notice of Complete Application for a Zoning By-Law Amendment (ZBA) in accordance with Section 34(10.4) of the *Planning Act*. The application has been assigned file number R-03-25.

And take notice that the County and Township will hold a public meeting as outlined below to consider the proposed OPA and ZBA under Sections 22 and 34 of the *Planning Act*.

Location

A key map showing the lands that are subject to the application is below. The lands are located on Lots 32 and 33, Concession 11, Dummer Ward, Township of Douro-Dummer, and are known municipally as 1842 South Bayshore Road East.

Purpose and Effect of the Application

The purpose of the Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) applications is to allow for the establishment of a new seasonal cottage within the 30-metre water setback.

The subject property is currently designated Lakeshore Residential in the Local Component of the Official Plan (OP). The OPA proposes to add a Site Specific Policy to Section 6.2.6.4 of the OP that permits a seasonal cottage with a water setback of less than 30 metres.

The subject property is currently zoned Limited Service Residential (LSR) and Environmental Conservation Provincially Significant Wetland (EC(P)) under the Township's Zoning By-law (By-law No. 10-1996), as amended. The ZBA proposes to change the zoning on a portion of the property from the LSR Zone to the Special District 263 (S.D. 263) Zone to permit the establishment of a new seasonal dwelling. As proposed, the S.D. 263 Zone would permit the following:

1. Minimum water yard setbacks of 12.73 metres, 13.75 metres, and 18.11 metres to the respective closest points on the northern, eastern, and southern faces of the proposed seasonal dwelling.
2. Maximum building height of 9.21 metres for the proposed seasonal dwelling.

All other applicable zones and provisions of By-law No. 10-1996, as amended, will continue to apply.

The following studies/documents were submitted in support of the application:

- Architectural Plans, prepared by Jason Cutajar Architectural Design, November 13, 2024;
- Grading and Erosion & Sedimentation Control Plan, prepared by SitePlanTech Inc., dated June 27, 2025;
- Planning Rationale Report, prepared by WND Associates, dated July 2025;
- Scoped Environmental Impact Study, prepared by Oakridge Environmental, dated July 2025;
- Stage 1/2 Archaeological Assessment, prepared by Northeastern Archaeological Associates Ltd., dated June 02, 2025;
- Resubmission Response Letter, prepared by WND Associates, dated December 23, 2025;
- Revised Architectural Plans, prepared by Jason Cutajar Architectural Design, prepared December 15, 2025;
- Renderings, prepared by WND Associates, dated December 2025;

- Revised Lot Grading and Drainage Plan, prepared by SitePlanTech Inc., dated December 6, 2025;
- Environmental Impact Study, prepared by Oakridge Environmental, dated December 16, 2025; and,
- Tree Inventory and Planting Plan, prepared by Beyond the Post, dated December 15, 2025.

Public Meeting Information

The statutory public meeting will take place:

Date: Tuesday, April 21, 2026
Time: 5:00 pm
Location: Council Chambers, Township of Douro-Dummer, 894 South Street, Warsaw, ON

Participation in the Public Meeting

The meeting will be held in person and electronically (virtual). Any person wishing to make written and/or oral submissions either in support of or in opposition to the proposal must contact the Clerk by email at mchaithartwig@dourodummer.ca or call 705-652-8392 ext. 210 no later than 9:00 a.m. on the day of the scheduled public hearing. Please indicate if you wish to attend in person or virtually and you will be provided with the applicable instructions for participation.

Although it is possible for members of the public to “attend” a meeting electronically, and provide verbal submissions, we encourage you to communicate with Council by forwarding written comments in support or in opposition to mchaithartwig@dourodummer.ca.

If you wish to view the public meeting in real time, but do not wish to speak to the application, the meeting will be hosted on the [Township’s YouTube Channel](#). The meeting will also be recorded and available after the meeting for public viewing on the same platform.

It is the responsibility of the interested member of the public to have technology in place to connect to the meeting.

The Right to Appeal

If a person or public body would otherwise have an ability to appeal the decision(s) of the Township of Douro-Dummer/County of Peterborough to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Douro-Dummer/County of Peterborough before the proposed by-law is passed/official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Douro-Dummer/County of Peterborough before the proposed by-law is passed/official plan amendment is adopted, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

To Be Notified

If you wish to be notified of the decision for these applications, you must make a written request to the County of Peterborough or Township of Douro-Dummer at the addresses noted below.

Getting Additional Information

The applications, supporting information and materials are posted online at www.ptbocounty.ca and at www.dourodummer.ca. A copy of the Township Planner’s report and other relevant information will be posted on the Township’s website ([Events | Township of Douro-Dummer](#)) prior to the Public Meeting.

Contact Information

County of Peterborough
 470 Water Street
 Peterborough, ON K9H 3M3
 Tel: (705) 743-0380
planning@ptbocounty.ca

Township of Douro-Dummer
 894 South Street
 P.O. Box 92
 Warsaw, ON K0L 3A0
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The Corporation of the
County of Peterborough
and
The Corporation of the
Township of Douro-Dummer



**Notice of Complete Application for an
Official Plan Amendment and Zoning By-Law Amendment**

Take notice that the Corporation of the County of Peterborough has received a complete application for an Official Plan Amendment in accordance with Section 22(6.4) of the *Planning Act*. The application has been assigned file number 15OP-25011.

And take notice that the Corporation of the Township of Douro-Dummer has received a complete application for a Zoning By-Law Amendment (ZBA) in accordance with Section 34(10.4) of the *Planning Act*. The application has been assigned file number R-03-25.

Location

A key map is attached which indicates the location of the lands which are subject to the application. The lands are located on Lots 32 and 33, Concession 11, Dummer Ward, Township of Douro-Dummer, and are known municipally as 1842 South Bayshore Road East.

Purpose and Effect of the Application

The purpose of the Official Plan Amendment (OPA) and Zoning By-law Amendment (ZBA) applications is to allow for the establishment of a new seasonal cottage within the 30-metre water setback.

The subject property is currently designated Lakeshore Residential in the Local Component of the Official Plan (OP). The OPA proposes to add a Site Specific Policy to Section 6.2.6.4 of the OP that permits a seasonal cottage with a water setback of less than 30 metres.

The subject property is currently zoned Limited Service Residential (LSR) and Environmental Conservation Provincially Significant Wetland (EC(P)) under the Township's Zoning By-law (By-law No. 10-1996), as amended. The ZBA proposes to change the zoning on a portion of the property from the LSR Zone to the Special District 263 (S.D. 263) Zone to permit the establishment of a new seasonal dwelling. As proposed, the S.D. 263 Zone would permit the following:

1. Minimum water yard setbacks of 12.89 metres, 11.81 metres, and 13.07 metres to the respective closest points on the northern, eastern, and southern faces of the proposed seasonal dwelling.
2. Maximum building height of 9.21 metres for the proposed seasonal dwelling.

All other applicable zones and provisions of By-law No. 10-1996, as amended, will continue to apply.

In support of the applications, the following studies/documents were submitted and are currently under technical review:

- Architectural Plans, prepared by Jason Cutajar Architectural Design, November 13, 2024;
- Grading and Erosion & Sedimentation Control Plan, prepared by SitePlanTech Inc., dated June 27, 2025;
- Planning Rationale Report, prepared by WND Associates, dated July 2025;
- Scoped Environmental Impact Study, prepared by Oakridge Environmental, dated July 2025; and,
- Stage 1/2 Archaeological Assessment, prepared by Northeastern Archaeological Associates Ltd., dated June 02, 2025.

The Right to Appeal

If a person or public body would otherwise have an ability to appeal the decision(s) of the Township of Douro-Dummer/County of Peterborough to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Douro-Dummer/County of Peterborough before the proposed official plan amendment is adopted, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Douro-Dummer/County of Peterborough before the proposed by-

**Amendment No. 85
to the
Official Plan of the
County of Peterborough**

DRAFT

Cheryl Cowie

Part of Lots 32 and 33, Concession 11

Township of Douro-Dummer, Dummer Ward

Official Plan Amendment No. 85

Part “A” – The Preamble does not constitute part of this Amendment.

Part “B” – The Amendment consisting of the following text and schedules constitutes Amendment No. 85 to the Official Plan for the County of Peterborough.

Also attached is **Part “C” – The Appendices** which does not form part of this amendment. The appendices contain minutes and resolution from the Public Meeting associated with the amendment as well as a summary of correspondence received from members of the public and agencies.

DRAFT

Part A – The Preamble

Purpose

The purpose of the Official Plan Amendment is to provide relief from 4.4.3 and 6.2.6.3, which require that all development, including septic systems be set back 30 metres from the ordinary high water mark of all waterbodies. The amendment applies to certain lands within the “Lakeshore Residential” designation, on lands located in Part of Lots 32 and 33, Concession 11 of the Dummer Ward in the Township of Douro-Dummer.

Basis

The County of Peterborough has received application from Cheryl Cowie to amend the Official Plan for the County of Peterborough. Cheryl Cowie owns a 0.80 hectare (1.96 acre) parcel of land in Part of Lots 32 and 33, Concession 11 in the Dummer Ward. The applicant is seeking to demolish an existing cottage and to construct a new cottage. While the existing cottage was already situated within the 30-metre water setback (east side of the property), the new cottage will be set back further from the predominant eastern water yard and will be situated at a lessor setback from the southern and northern water setbacks than the existing cottage on the irregular and peninsula-like property.

The applicant submitted the following studies/materials as part of the application for Official Plan Amendment:

- Architectural Plans, prepared by Jason Cutajar Architectural Design, dated November 13, 2024;
- Grading and Erosion & Sedimentation Control Plan, prepared by SitePlanTech Inc., dated June 27, 2025;
- Planning Rationale Report, prepared by WND Associates, dated July 2025;
- Scoped Environmental Impact Study, prepared by Oakridge Environmental Limited, dated July 2025;
- Stage 1/2 Archaeological Assessment, prepared by Northeastern Archaeological Associates Ltd., dated June 2, 2025;
- Resubmission Response Letter, prepared by WND Associates, dated December 23, 2025;
- Revised Architectural Plans, prepared by Jason Cutajar Architectural Design, dated December 15, 2025;
- Renderings, prepared by WND Associates, dated December 2025;
- Revised Grading and Erosion & Sedimentation Control Plan, prepared by SitePlanTech Inc., dated December 5, 2025;
- Response to Peer Review, Environmental Impact Study (sEIS), prepared by Oakridge Environmental Limited, dated December 16, 2025; and,

- Tree Preservation & Removals Plan, prepared by Beyond the Post, dated December 15, 2025.

A public meeting is required to be held under Section 22 of the Planning Act, R.S.O. 1990, as amended. The public meeting was held on MONTH DAY, 202#. The minutes and supporting resolution are included in Appendix 1.

No/# comments were received by the Public and are included in Appendix 2. Agency comments are summarized in Appendix 3.

DRAFT

Part B – The Amendment

All of this part of the document entitled Part B – The Amendment consisting of the following text and schedule constitutes Amendment No. 85 to the Official Plan of the County of Peterborough.

Details of the Amendment

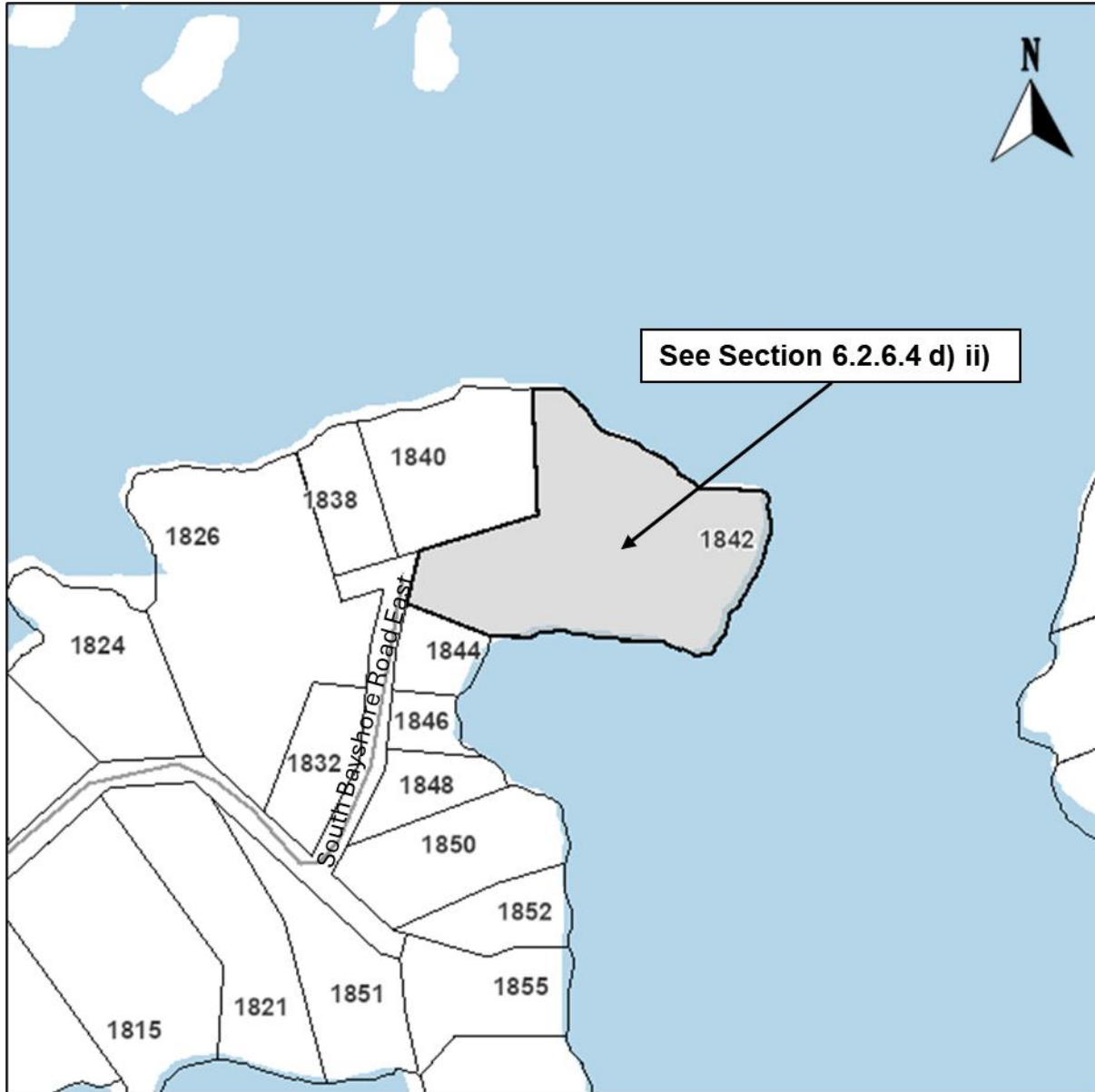
The Official Plan of the County of Peterborough is hereby amended as follows:

1. Section 6.2.6.4 – Site Specific Special Policy Areas is amended by adding the following new policy identified as Section 6.2.6.4 d) ii) for the Township of Douro-Dummer, which will read as follows:

Notwithstanding any other provision of this Plan to the contrary, on lands located in Part of Lots 32 and 33, Concession 11, Township of Douro-Dummer and having Roll No. 1522-020-005-57900, an application for a Zoning By-law Amendment shall be permitted for a new seasonal cottage with a minimum water yard setback of less than 30 metres. The minimum water yard setback for a seasonal cottage shall be as set out in the associated amendment to the Township of Douro-Dummer Zoning By-law.

2. Schedule “A4-3” - Land Use Stoney, Clear and Katchewanooka Lakes for the Township of Douro-Dummer is hereby amended by adding a Site Specific Policy Area text box that refers to the subject lands located in Part of Lots 32 and 33, Concession 11, Dummer Ward, in the Township of Douro-Dummer, which reads as follows: “See Section 6.2.6.4 d) ii)”, as shown on Schedule “1” attached hereto and forming part of this Amendment.

Schedule '1'
to
Official Plan Amendment No. 85
County of Peterborough Official Plan



Part C – The Appendices

The following appendices do not constitute part of Official Plan Amendment No. 85 but are included as information supporting the Amendment.

- Appendix No.1 - Public Meeting Notice(s) and Minutes
- Appendix No.2 - Public Comments
- Appendix No.3 - Agency Comments

DRAFT

Appendix No. 1 – Public Meeting Notice(s) and Minutes

TO BE INSERTED WHEN .PDF'D FOR COUNTY COUNCIL REPORT

DRAFT

Appendix No. 2 – Public Comments

Pieces of correspondence have been received by the Township and County from members of the public. They now form part of the public record and are available at any time upon request.

No comments received as of April 14, 2026.

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Appendix No. 3 – Agency Comments

Pieces of correspondence have been received by the Township and County from circulated agencies. They now form part of the public record and are available at any time upon request.

- County of Peterborough Engineering & Construction Division – comments received September 08, 2025 & April 1, 2026 – no concerns.
- Enbridge – comments received September 11, 2025 & April 9, 2026 – no concerns.
- Kawartha Pine Ridge District School Board – comments received September 29, 2025 – no concerns.
- Otonabee Conservation - comments received October 6, 2025, and February 5, 2026 – application is consistent with Chapter 5 of Provincial Policy Statement (PPS) – development as proposed does not appear to create new or aggravate existing hazards – permits required prior to any site alteration (including demolition) or construction – Trent Source Protection Plan policies do not apply.
- Township of Douro-Dummer – comments received October 6, 2025, and March 12, 2026 (as part of joint Township/County comments) – comments from first submission required further justification/modifications that were addressed in second submission.

The Corporation of the Township of Douro-Dummer

By-law Number 2026-XX

Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"

Whereas By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

And Whereas Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

And Whereas the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

Now Therefore the Council of the Township of Douro-Dummer hereby enacts as follows:

1. Schedule B10 to By-law No. 10-1996, as amended, is hereby further amended by changing the zone category on a portion of the property known municipally as 1842 South Bayshore Road East and more particularly described Part Lots 32 and 33, Concession 11 (Dummer Ward) from the Limited Service Residential Zone (LSR) to the Special District 263 Holding Zone (S.D. 263 (H)) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by the addition of subsection "21.263 Special District 263 Holding Zone (S.D. 263 (H))" immediately following subsection "21.262 Special District 262 Zone (S.D. 262)" which shall read as follows:

21.263 Special District 263 Holding Zone (S.D. 263 (H)) – Roll No. 1522-020-005-57900

No person shall within any Special District 263 Holding Zone (S.D. 263 (H)) use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

21.263.1 Permitted Uses

21.263.1.1 All uses permitted in Section 7.1 of the Limited Service Residential Zone (LSR) of By-law No. 10-1996, as amended.

21.263.2 Regulations for Permitted Uses

All regulations of Section 7.2.1 of the Limited Service Residential Zone (LSR) of By-law No. 10-1996, as amended, shall apply with the following exceptions:

- a) Minimum Water Yard Setback for principal dwelling (North) 12.73 m
- b) Minimum Water Yard Setback for principal dwelling (East) 13.75 m

- | | |
|--|---------|
| c) Minimum Water Yard Setback for principal dwelling (South) | 18.11 m |
| d) Maximum Building Height for principal dwelling | 9.21 m |

21.263.4 Holding Provisions

The Holding Provision attached to the Special District 263 Holding Zone (S.D. 263 (H)) shall be removed when the following action has been secured to the satisfaction of the Township:

- a) A Site Plan Agreement is entered into between the Owner and the Township in accordance with Section 41 of the Planning Act, R.S.O., 1990, as amended.
- b) Prior to the removal of the Holding Provision, the only uses permitted shall be an existing building, structure, or use.

3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

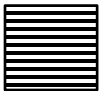
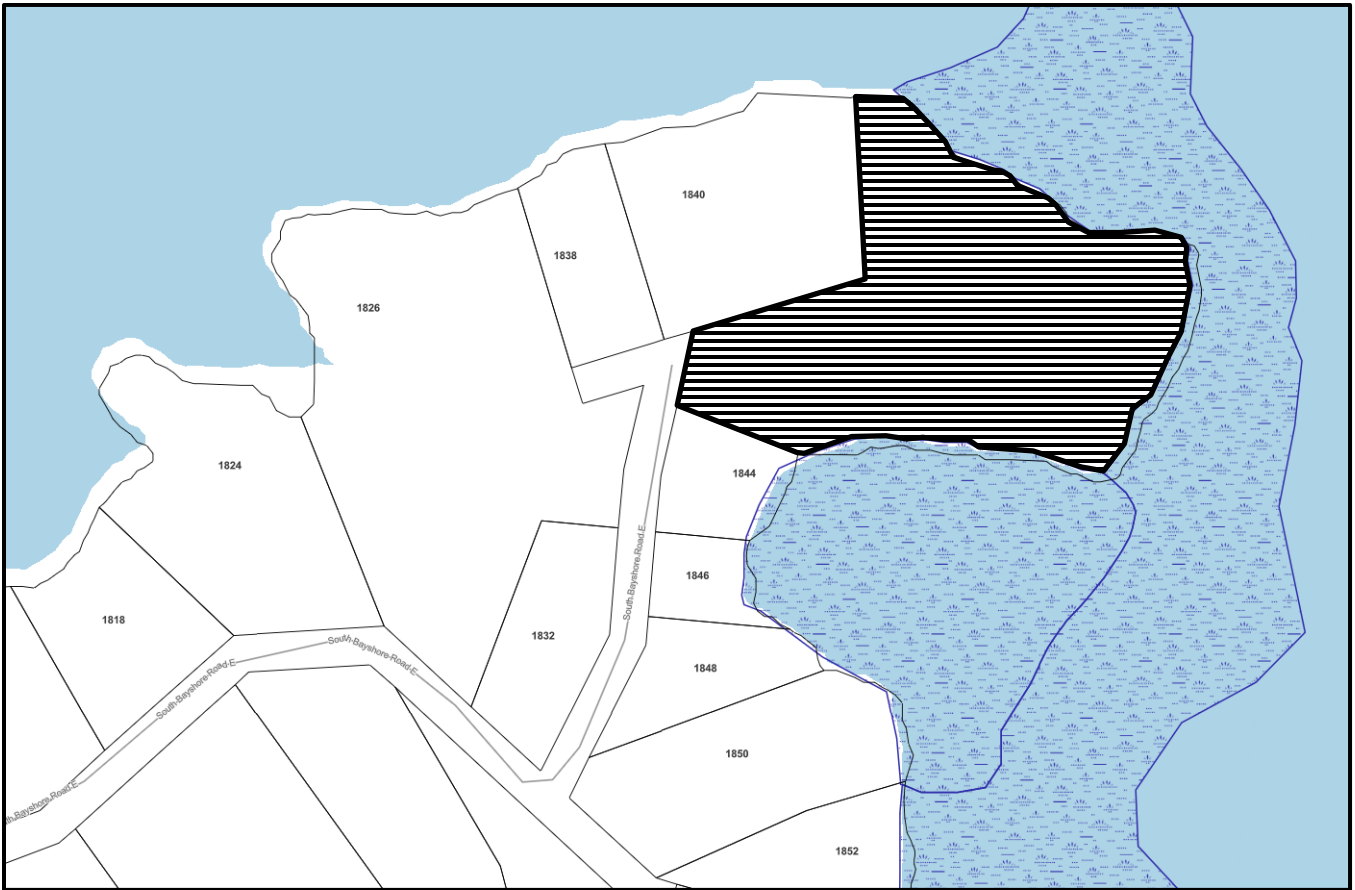
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of the Planning Act, RSO 1990, as amended.

Passed in Open Council this XXst day of Month, 2026.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

Schedule "1" to By-law 2026-XX



Land to be rezoned from the 'Limited Service Residential Zone (LSR)' to the 'Special District 263 Holding Zone (S.D. 263 (H))'

This is Schedule '1' to By-law No. 2026-XX passed this XXst day of Month, 2026.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

23 December 2025

Emily Fitzgerald, Planner
Township of Douro-Dummer
894 South Street,
Warsaw, Ontario
P.O. Box 92

Attention: Emily Fitzgerald, Planner

Dear Ms. Fitzgerald

**RE: 1842 South Bayshore Road East – Official Plan
Amendment and Zoning By-law Amendment
Application Resubmission**
WND File No.: 25.519
File No.: 15OP-2511 and R-03-25

WND Associates has been retained by the Owner of 1842 South Bayshore Road East (the “Subject Site”) in the Township of Douro-Dummer with respect to the submission of concurrent Official Plan Amendment (“OPA”) and Zoning By-law Amendment (“ZBA”) Applications (“the Applications”) for redevelopment of a proposed detached recreational dwelling.

The Subject Site is along the south shoreline of Stoney Lake and has an area of 7,952 square metres in an irregular and peninsula-like configuration. The Subject Site currently contains an existing single-storey detached recreational dwelling, an accessory boathouse and a wood frame shed structure. The existing dwelling is setback a minimum of 6.43 metres from the east water yard. The Subject Site is designated Lakeshore Residential in the County of Peterborough Official Plan. The Subject Site is zoned Limited Service Residential under the Township of Douro-Dummer’s Zoning By-law 10-1996.

OPA and ZBA Applications (the “Initial Application”) were submitted on 29 July 2025 and deemed complete on 22 August 2025 and 28 August 2025 by the County and Township respectively. The OPA was required relative to the 30-metre water yard setback provision in the County’s Official Plan. The ZBA was required relative to relief for water yard setback and height with respect to the Township’s Zoning By-law.

Initial Application

The Proposed Development, with respect to the Initial Application, includes the demolition of the existing single-storey recreational dwelling along with demolition of the existing wood frame shed. The existing boat house located along the north shoreline of the property is proposed to remain and no further expansion is proposed as part of the application.

The Proposed Development is two storeys with a height of 9.21 metres. The lot coverage is 5.69%. Taken together with the existing boat house the total lot coverage is 7.45% (well below the 15% permitted).

The first floor (282.04 square metres in area) contains a combination of living and bedroom areas along with the proposed garage (79.45 square metres). The first floor also contains a walk-out landscaped terrace in the northeast portion of the footprint, a smaller landscaped terrace in the south portion of the footprint and there is a landscaped terrace front porch at the entrance. The second floor is comprised of bedrooms, hallway and storage space and associated washrooms, and has a total floor area of 274.70 square metres. The Initial Application included a proposal to plant new native trees at a ratio of 5:1 for each tree proposed to be removed.

With respect to water yard setbacks, the Initial Application proposed the following pattern of minimum setbacks:

- **North:** 12.05 metres to 16.66 metres
- **East:** 11.81 metres to 14.0 metres
- **South:** 16.96 metres

Revised Application and Resubmission

The Revised Application proposes a new two-storey detached recreational dwelling having the same lot coverage footprint, height and interior floor area as the Initial Application. The Revised Application was prepared in consultation with the retained arborist and landscape architect's tree inventory and planting plan, prepared by Beyond the Post, and is coordinated with the revised Architectural Plans.

The objective of this coordination between the architect and landscape architect was in direct response to the comments received from the County and Township and is summarized as twofold:

1. To reduce tree removals required to implement the proposed recreational dwelling.
2. To determine the appropriate location and native species of new trees through the preparation of a tree inventory and planting plan and to document each of the required tree removals.

The landscape architect determined that if no revisions were made to the Initial Application, then six (6) tree removals would be necessary and several additional trees may be injured. The landscape architect and architect attended separate site visits to the Subject Site to survey the feasibility of adjusting the location of the dwelling's footprint to optimize tree preservation and to reduce the need to remove several mature trees located further towards the interior of the lot outside of the 30-metre water yard setback.

In preparation of this resubmission, and through this coordination, it was determined that moving the dwelling approximately one metre towards the interior of the lot and rotating the dwelling clockwise several degrees would reduce the "confirmed" tree removals from six (6) trees to three (3) trees (with two white pines, Tree #003 and Tree #018 marked as conditional preservation, or to be injured only with root sensitive construction techniques and arborist supervision during construction). Further, the septic tank's orientation within the 30-metre water yard setback was also revised in consultation with the

landscape architect such that it is in a location which is not anticipated to injure existing trees or their associated root base, which generally extends much further from the trunk for mature trees, such as Tree #037, an 83cm trunk diameter white pine, with a root base largely within the area of the property outside of the 30-metre water yard setback.

The Landscape Plans illustrate the existing tree canopy which is shown as a hatched overlay on the Tree Inventory and Planting Plan. Notwithstanding the septic tank and hydro transformer, the majority of the area of the property outside the 30-metre water yard setback is occupied by existing tree canopy and the associated root bases of trees, which would be inappropriate and unnecessary to remove for new development where the Revised Application presents a less impactful and more appropriate alternative location that reduces tree removals.

The Revised Application provides compensatory trees. In total, three (3) trees are confirmed to be removed and thirty (30) new native species are proposed through targeted tree planting arrangements primarily within the 30-metre water yard setback. To be conservative, the EIS references removal of three (3) to potentially five (5) trees (the two additional trees are noted as “to be confirmed” tree removals although the arborist and landscape architect recommends supervision during construction and root sensitive construction techniques for these two trees). If these two trees, while anticipated to be injured, are considered as removals, a 6:1 compensatory tree planting ratio is maintained, which exceeds the previously recommended compensatory tree planting ratio of 5:1.

Please refer to the Landscape Plan which identifies “confirmed” and “to be confirmed tree removals” and why they are referred to as such including a description of the two trees which are considered for injury.

The water yard setbacks have increased as a result of the westward shift and clockwise rotation of the dwelling and are now proposed as follows:

- **North:** 12.73 metres to 17.87 metres
- **East:** 13.75 metres to 17.40 metres
- **South:** 18.11 metres

Comments Received on Initial Application

The following provides a general summary of the comments received in October 2025 following circulation of the Initial Application (this list is not exhaustive and all comments letters are to be reviewed individually as made available to WND Associates):

- **County of Peterborough Engineering and Construction:**
 - *“...The Engineering and Construction (E&C) Division of Planning, Development and Public Works (PDPW) Department for Peterborough County has no objections, comments or concerns with respect to this application...”*
- **Otonabee Region Conservation Authority:**
 - *“...Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Chapter 5 of the Provincial Planning Statement (PPS), referencing Natural Hazards...”*

- *“...The development as proposed does not appear to create new or aggravate existing hazards provided the recommendation noted on Dwg. 25-016 pertaining to the installation of double silt fence with silts in between, along the lake frontage is maintained and remains in position until the site is entirely stabilized...”*
- *“Permits from this agency are required prior to any site alteration (including demolition) or construction on the property.”*
- *“...It has been determined that the subject property is in the following vulnerable area(s) and SPP policies do not apply. The proposed development is not subject to review by the Risk Management Official and a Restricted Land Use Notice is not required. required. • Intake Protection Zone 3 (low and/or moderate threats may be possible) • Highly Vulnerable Aquifer...”*
- **Enbridge:**
 - *“...Enbridge Gas does not object to the proposed application(s) however, we reserve the right to amend or remove development conditions. This response does not signify an approval for the site/development.”*
- **Kawartha Pine Ridge District School Board:**
 - *“...Please accept this as a formal response from Kawartha Pine Ridge District School Board (KPR). KPR has completed a review of the applications, and it is our understanding that the application are intended to allow the establishment of a new seasonal cottage within the 30- metre water setback. KPR has reviewed the application and has not identified any concerns or issues related to our mandate with the proposed amendments...”*

Stantec Peer Review of Environmental Impact Statement

The Township retained the services of Stantec to peer review the Environmental Impact Statement (EIS) prepared by Oakridge Environmental (ORE). On 10 October 2025 Stantec issued comments on the EIS. The enclosed resubmission includes a revised EIS prepared by ORE in response to each of the comments received by Stantec.

Township of Douro-Dummer Planning Comments

Comments were received from the Township Planner on 6 October 2025. Through telephone and email correspondence with the County Planner, it was confirmed that these comments were coordinated between County and Township Planning Staff. A response to each of the comments received is provided in the table below:

Comment No.	Comment	Response
A-1	Architectural Drawing Set does not include a foundation plan. Additional information regarding the foundation is required to determine how the landscaped	The Revised Architectural Plans include a Foundation Plan (Plan A5).

Comment No.	Comment	Response
	terraces will be defined and regulated.	
SP-1	Site Plan does not provide a northern water yard setback to the existing dwelling.	The minimum northern water yard setbacks for the existing dwelling are shown on Plan A0.1.
SP-2	Site Plan does not provide a southern water yard setback to the existing dwelling.	The minimum southern water yard setbacks for the existing dwelling are shown on Plan A0.1.
SP-3	Site Plan does not provide setbacks to lot lines and structures for the proposed septic system.	The septic tank is setback 25 metres from the proposed dwelling. Please refer to Plan A0.
PRR-1	Section 3.3 of the Planning Rationale Report outlines other area properties in which to facilitate the demolition and replacement of the former dwellings, Planning Act applications (Minor Variance or Zoning By-law Amendment) were required. All examples provided either maintain or slightly improve the deficient water setbacks. Both 1604 Julia's Creek Road West and 1442 Miles Shore Road East were replaced generally within the same footprint. The building footprint of the new dwelling at 1304 Whetung Road was significantly expanded; however, the deficient water setbacks to the northern shoreline were not further reduced, and the southern wing of the new dwelling is located outside of the required 30-metre water setback to the western shoreline. The examples do not appear to reflect the subject development proposal given the expanded footprint and water yard encroachments.	<p>The examples were provided to demonstrate that new development, and not just expansion of legal non-conforming footprints, occurs along Stoney Lake within the 30-metre water yard setback.</p> <p>The examples were not provided to telegraph site-specific standards from one property onto the Subject Site.</p> <p>The examples were intended to illustrate that the Proposed Development is not the first of its kind to seek relief from the 30-metre water yard setback provision along Stoney Lake's shoreline. The Proposed Development fits harmoniously within the overall context of a rural recreational shoreline as demonstrated by the enclosed architectural renderings.</p>
PRR-2	Section 4.2 of the Planning Rationale Report notes that it is not possible to locate the dwelling closer towards the interior of the lot	There are several site and context-specific considerations relative to why it would not be appropriate to locate the dwelling towards the

Comment No.	Comment	Response
	<p>due to the location of the proposed septic system. Provide setbacks to septic system on the site plan as per comment SP-3 to support this statement.</p>	<p>interior of the lot. To supplement the Planning Rationale Report, these considerations include:</p> <ol style="list-style-type: none"> 1. The septic tank is proposed to be located fully outside of the 30-metre water yard setback in a location which has already determined acceptable by ORCA Staff. No OPA or ZBA relief is required for the septic tank. 2. There is an existing hydro transformer located at the interior of the property outside of the 30-metre water yard setback. 3. The location of the dwelling through the Revised Application has been optimized with input from the landscape architect to limit tree removals. The interior of the lot contains several mature trees which provide an important ecological function. All of which are proposed to remain (some of which are quite mature such as tree #37, a white pine, classified as good condition by the arborist, with an 83cm trunk diameter). This tree is proposed to be preserved through the Revised Application and its root base is considered by the arborist to extend significantly throughout the interior of the lot given the age of the tree. <p>It is more appropriate to redevelop the portion of the property as proposed which is primarily an existing manicured lawn, gravel driveway and partially within the same footprint of the existing dwelling (all of which provide a lesser ecological function than the portion of the lot located towards the interior which contains significantly more existing trees).</p> <ol style="list-style-type: none"> 4. The dwelling is proposed in a location where it is directed away from the side yards of adjacent landowners and where no removals

Comment No.	Comment	Response
		<p>or pruning of boundary trees are necessary. In a rural recreational waterfront setting, this is a relevant consideration to avoid visual, noise, light and other disturbances which are buffered in a waterfront context by the tree canopy and associated vegetation between properties.</p> <p>In our opinion, and with respect to this particular response, the Revised Application has regard for all relevant matters of Provincial Interest under S. 2 of the Planning Act,, which Council must have regard for in exercising its authority under the Planning Act: (a), (d), (e), (h), (n), (o), (p), (r).</p> <p>5. The location of the proposed dwelling and targeted clusters of new trees has been coordinated with respect to the (e), the conservation of energy, which is a matter of Provincial Interest. The Revised Application locates the dwelling where shade is optimized during the summer months to reduce consumption of energy for cooling.</p> <p>Please refer to the Revised EIS which is to be read concurrently to this letter.</p>
PRR-3	<p>Section 5.3 of the Planning Rationale Report provides justification in response to policy section 6.2.6.3 c). Within this policy section, “general” applies only to lots created subsequent to OPA No. 3 coming into effect (October 22, 2008). The response letter to the OPA/ZBA Application Completeness Review notes that the property has been in use for recreational residential purposes since approximately 1965. Given that the property has been consistently used</p>	<p>In our opinion, both the General policies and the Permitted Exception policies must be read as a whole.</p> <p>The first sentence of the underlined General sub-heading of 6.2.6.3c) applies to all properties in the Lakeshore Residential land use designation. It is this discrete policy objective which outlines the overall intent of a water yard setback to the reader. The second sentence in this paragraph, starting with “In this regard” introduces a more-specific topic related to new lot creation, which is linked to this earlier general policy. Following which, the reader is introduced to an underlined Permitted Exception sub-heading which cannot be read in isolation of the</p>

Comment No.	Comment	Response
	<p>and developed for recreational residential purposes since prior to October 22, 2008, the “permitted exceptions” paragraph is the appropriate portion of policy section 6.2.6.3 c) to address. Further rationale must be provided for the enlargement and further encroachments into the northern and southern water yards.</p>	<p>General policies as it is an exception to what was just introduced to the reader. Further, the next two sub-headings relate to Vacant Lots and Existing Structures.</p> <p>Over 90% of the Subject Site is located in the 30-metre water yard setback due to its peninsula-like shape.</p> <p>The Revised Application demonstrates, both qualitatively and quantitatively, that the General policy objectives of preservation of a naturally vegetated shoreline, reduction of visual impact and maintaining wildlife habitat can be furthered with the development of a new recreational dwelling within the 30-metre water yard setback.</p> <p>The Revised EIS included with this resubmission concludes no environmental impacts of the development and considers the 30 compensatory native trees proposed as providing net overall habitat benefits through significantly improving upon shoreline habitat where manicured lawn space exists today. A relevant excerpt from the EIS which demonstrates the furtherance of the policy objectives of Section 6.2.6.3 c) is as follows: “...the planting of native trees and vegetation on a highly disturbed open property would benefit the turtles/wildlife associated with the lake/PSW.”</p>
PRR-3	<p>Section 5.4 of the Planning Rationale Report discusses the specific relief the ZBA application is requesting from the Zoning By-law. In addition to a reduced eastern water setback, the application also proposes reduced water setbacks in the northerly and southerly directions. Provide justification for the requested deviations from the zoning regulations (water setbacks and height).</p>	<p>Rationale for the reduced northern and southern water yard setbacks was included within the Planning Rationale Report.</p> <p>The Planning Rationale Report was to be read together with the EIS prepared by ORE. The EIS Addendum should be reviewed concurrently with which concludes a net overall habitat benefit from the proposed tree planting and no unmitigable environmental impacts as a result of the Revised Application or its footprint.</p>

Comment No.	Comment	Response
		<p>The Stantec peer review did not include any contrary evidence to EIS’s conclusions relative to an analytical and quantifiable measure of adverse impact relative to the north, east and south water yard setbacks proposed. ORCA Staff have also reviewed the Application and determined that it is consistent with the 2024 Provincial Planning Statement and have no objections. We kindly request that municipal Staff review materials concurrently as the conclusions of consultants are coordinated between the various reports and plans.</p> <p>With respect to the relief proposed in the site-specific ZBA for an additional 21cm of height (9.0 metres is permitted and 9.21 metres is proposed), we have included renderings prepared in coordination between the architect and landscape architect.</p> <p>The 21cm additional height is required for a small roof ridge which is a result of maintaining a rational and well-designed traditional roof plan with consistent roof slopes which fits harmoniously within the context of other rooflines observed from other recreational dwellings along Stoney Lake.</p> <p>The renderings include the proposed new trees which provide appropriate screening. In our opinion, the additional 21cm of height is appropriately screened by existing and proposed trees and represents visually a near unrecognizable difference to what is permitted as-of-right when viewed from a distance on Stoney Lake or from neighbouring properties.</p>
sEIS-1	Section 12.0 of the sEIS recommends compensatory plantings in the water yards to protect and improve the shoreline area. Staff will be recommending that a Holding (H) Provision be placed on the zoning which requires the preparation of a compensatory	Please refer to the enclosed tree inventory and planting plan included within the Landscape Plans. This work has been advanced with the enclosed resubmission.

Comment No.	Comment	Response
	tree planting plan to the satisfaction of the Township.	
sEIS-2	Section 12.0 of the sEIS outlines a variety of recommendations to ensure the proposed development and use of the property do not result in any negative impacts to the adjacent waterbody and natural heritage features. Staff will be recommending that a Holding (H) Provision be placed on the zoning requiring that the Owner enter into a mitigation measures agreement with the Township.	Noted.

Enclosed Resubmission

The following revised studies and plans are enclosed with this digital resubmission of the OPA and ZBA Applications:

1. Cover Letter, prepared by WND Associates, dated December 23, 2025;
2. Draft Official Plan Amendment, prepared by WND Associates, dated December 23, 2025;
3. Draft Zoning By-law Amendment, prepared by WND Associates, dated December 23, 2025;
4. Revised Architectural Plans, prepared by Jason Cutajar Architectural Design, dated December 15, 2025;
5. Renderings, prepared by Jason Cutajar Architect Design, dated December 15, 2025;
6. Landscape Plans, prepared by Beyond the Post, dated December 15, 2025;
7. Revised Lot Grading and Drainage Plan, prepared by SiteplanTech, dated December 6, 2025; and,
8. Revised Environmental Impact Statement and Responses to Peer Review, dated December 16, 2025.

We trust the foregoing resubmission of the OPA and ZBA Applications sufficiently addresses comments received from the County and Township’s Planning Departments and the Township’s peer reviewer, Stantec.

It is our respectful submission that the OPA and ZBA, the Revised Application, the increased setbacks proposed and compensatory tree planting i) has regard for matters of Provincial Interest under S. 2 of the Planning Act, ii) is consistent with the 2024 PPS, iii) conforms to, and/ or maintains the intent of, to the County's Official Plan, when read as a whole, including to both the general and permitted exception policies of the Lakeshore Residential land use designation, and iv) is in the public interest and represents good planning.

Moreover, in our opinion, the OPA and ZBA, as revised and summarized through the EIS, with associated tree planting proposed, providing a net habitat function benefit to the property, and furthers the broad based policy objectives of the Official Plan relative to waterfront areas (Policy Sections 4.4.1, 4.4.2 and 4.4.3) and the Lakeshore Residential land use designation (Policy Chapter 6.2.6).

The OPA Application is required to seek relief from the 30-metre water yard setback policy of the Official Plan. As it has been demonstrated by the Initial Application, and the supplementary reports and plans provided in this resubmission of the Revised Application, the overall vision and objectives for development in waterfront areas and in the Lakeshore Residential land use designation, can be achieved and furthered through a development which seeks relief from the numeric 30-metre provision. As has been held by the Ontario Land Tribunal in numerous decisions, Official Plans should be flexible documents setting out general policy and are not intended to be prescriptive in their application.¹

We look forward to continuing to work amicably with County and Township Planning Staff on Draft OPA and ZBA instruments to implement the Proposed Development. We would be pleased to meet to discuss an appropriate Holding Provision for the ZBA or other targeted site plan conditions at the permit stage relative to securing the proposed tree planting, construction mitigation and other site improvements recommended by our client's technical consultants.

We kindly request that the Applications, and associated Staff Reports, are scheduled on the next available County and Township Council meeting dates in 2026 following 30 days of circulation of this resubmission in January 2026 to municipal and agency Staff.

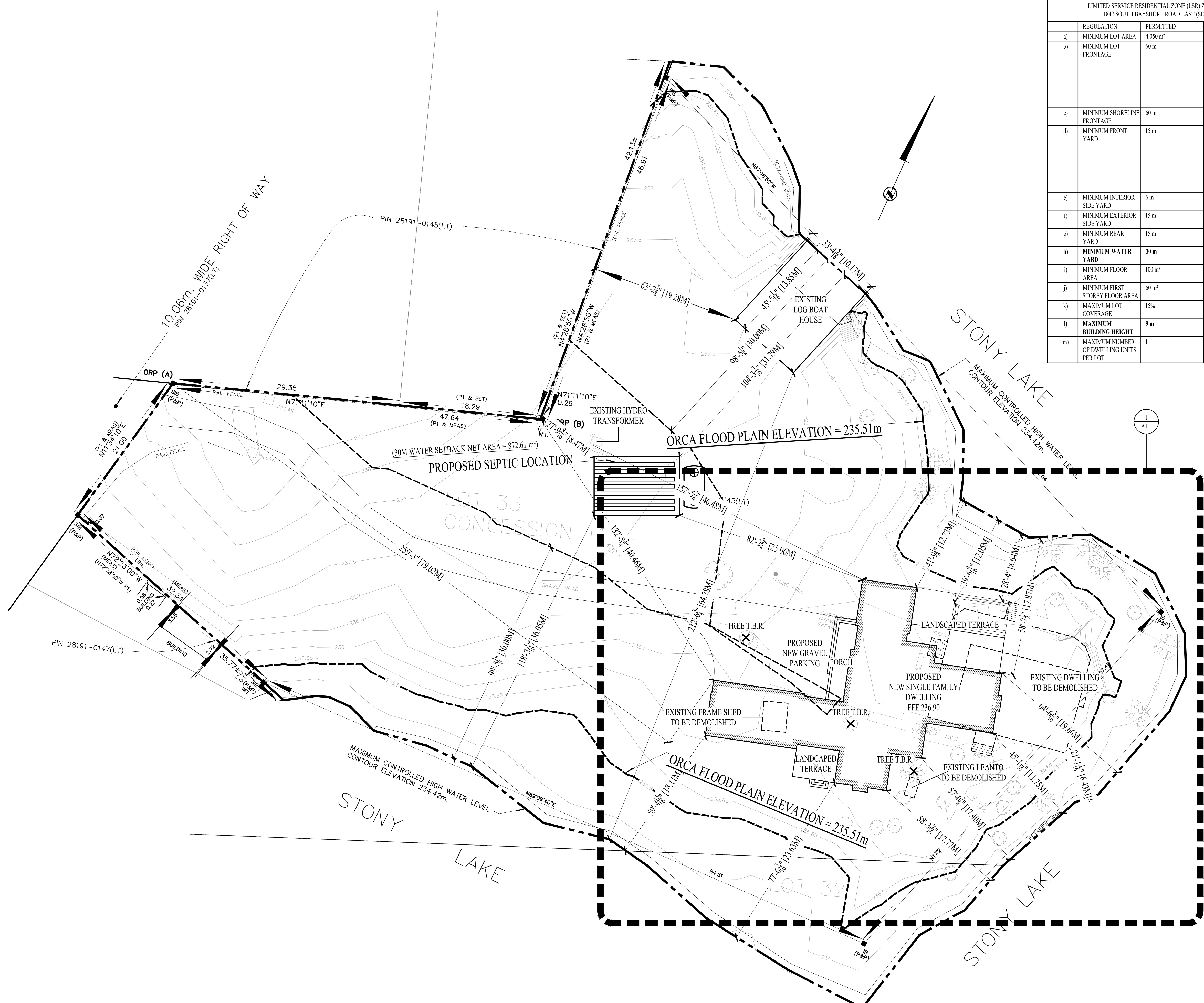
Yours very truly,

WND associates
planning + urban design



Kevin McKrow, MCIP, RPP
Senior Planner

¹ [2072231 Ontario Limited v. The Corporation of the City of London, 2020 ONSC 4032 \(CanLII\)](#)



LIMITED SERVICE RESIDENTIAL ZONE (LSR) ZONING COMPLIANCE TABLE FOR 1842 SOUTH BAYSHORE ROAD EAST (SECTION 7.2.1 a) THROUGH m)				
	REGULATION	PERMITTED	PROPOSED	COMPLIES
a)	MINIMUM LOT AREA	4,050 m ²	7,952.84 m ²	Y
b)	MINIMUM LOT FRONTAGE	60 m	N/A 22.130.1 IN CASE OF A STANDARD WATERFRONT LOT, THE SHORELINE SHALL BE DEEMED TO BE THE FRONT LOT LINE.	Y
c)	MINIMUM SHORELINE FRONTAGE	60 m	236.03 m	Y
d)	MINIMUM FRONT YARD	15 m	N/A 22.130.1 IN CASE OF A STANDARD WATERFRONT LOT, THE SHORELINE SHALL BE DEEMED TO BE THE FRONT LOT LINE.	Y
e)	MINIMUM INTERIOR SIDE YARD	6 m	N/A	Y
f)	MINIMUM EXTERIOR SIDE YARD	15 m	N/A	Y
g)	MINIMUM REAR YARD	15 m	46.48 m	Y
h)	MINIMUM WATER YARD	30 m	13.75 m	N
i)	MINIMUM FLOOR AREA	100 m ²	274.70 m ²	Y
j)	MINIMUM FIRST STOREY FLOOR AREA	60 m ²	282.04 m ²	Y
k)	MAXIMUM LOT COVERAGE	15%	5.69%	Y
l)	MAXIMUM BUILDING HEIGHT	9 m	9.21 m	N
m)	MAXIMUM NUMBER OF DWELLING UNITS PER LOT	1	1	Y

JASON CUTAJAR
ARCHITECTURAL DESIGN
P 416-277-0179 F 416-241-8125
39 BRAYWIN DRIVE
TORONTO, ONTARIO
M9P 2N9
CANADA

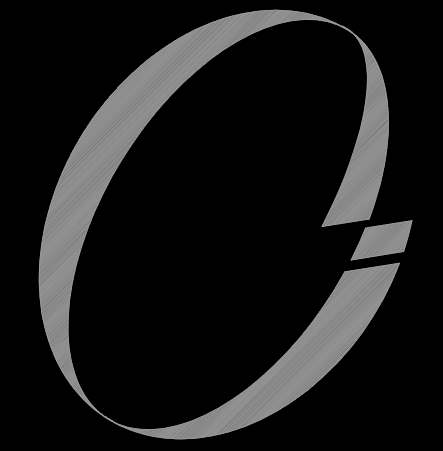
1842 SOUTH BAYSHORE RD E
ONTARIO
CANADA

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5	OFFICIAL PLAN AMENDMENT AND ZONING BY-LAW AMENDMENT RESUBMISSION	12/15/25
4	REISSUED FOR COORDINATION	12/04/25
3	ZONING REVIEW SUBMITTAL	07/16/25
2	FOOTPRINT RELOCATED	05/29/25
1	ZONING REVIEW SUBMITTAL	11/13/24
NO.	REVISIONS	DATE

SHEET TITLE:
PROPOSED KEY SITE PLAN

DRAWN BY: M.V.	CHECKED BY: J.C.
DATE: 11/13/2024	SCALE: 1:250
PROJECT NO.:	DRAWING NO.:

ZONING SCHEDULE FOR 1842 SOUTH BAY SHORE EAST (EXISTING)	
ZONING DESIGNATION: LSR	
SITE DATA	
ZONING REGULATION	EXISTING
LOT FRONTAGE	236.03 m
LOT AREA	7952.84 m ²
FRONT YARD SETBACK	6.43 m
SIDE (NORTH) YARD SETBACK	12.05 m
SIDE (SOUTH) YARD SETBACK	38.63 m
REAR YARD SETBACK	59.15 m
DWELLING HEIGHT	6.5 m
EXISTING LOT COVERAGE	5.34%
FIRST FLOOR AREA + DECK + FRAME SHED + LEANTO + BOAT HOUSE	(424.56 m ²)
EXISTING FIRST FLOOR AREA	174.74 m ²
EXISTING DECK AREA	94.06 m ²
EXISTING FRAME SHED AREA	11.78 m ²
FRAME SHED HEIGHT	3 m
EXISTING LEANTO AREA	3.34 m ²
FRAME LEANTO HEIGHT	2.1 m
EXISTING BOAT HOUSE AREA	140.64 m ²
BOAT HOUSE HEIGHT	3.6 m



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NO.	REVISIONS	DATE
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1	ZONING REVIEW SUBMITTAL	11/13/24

SHEET TITLE:

**EXISTING KEY
SITE PLAN**

DRAWN BY:
M.V.

CHECKED BY:
J.C.

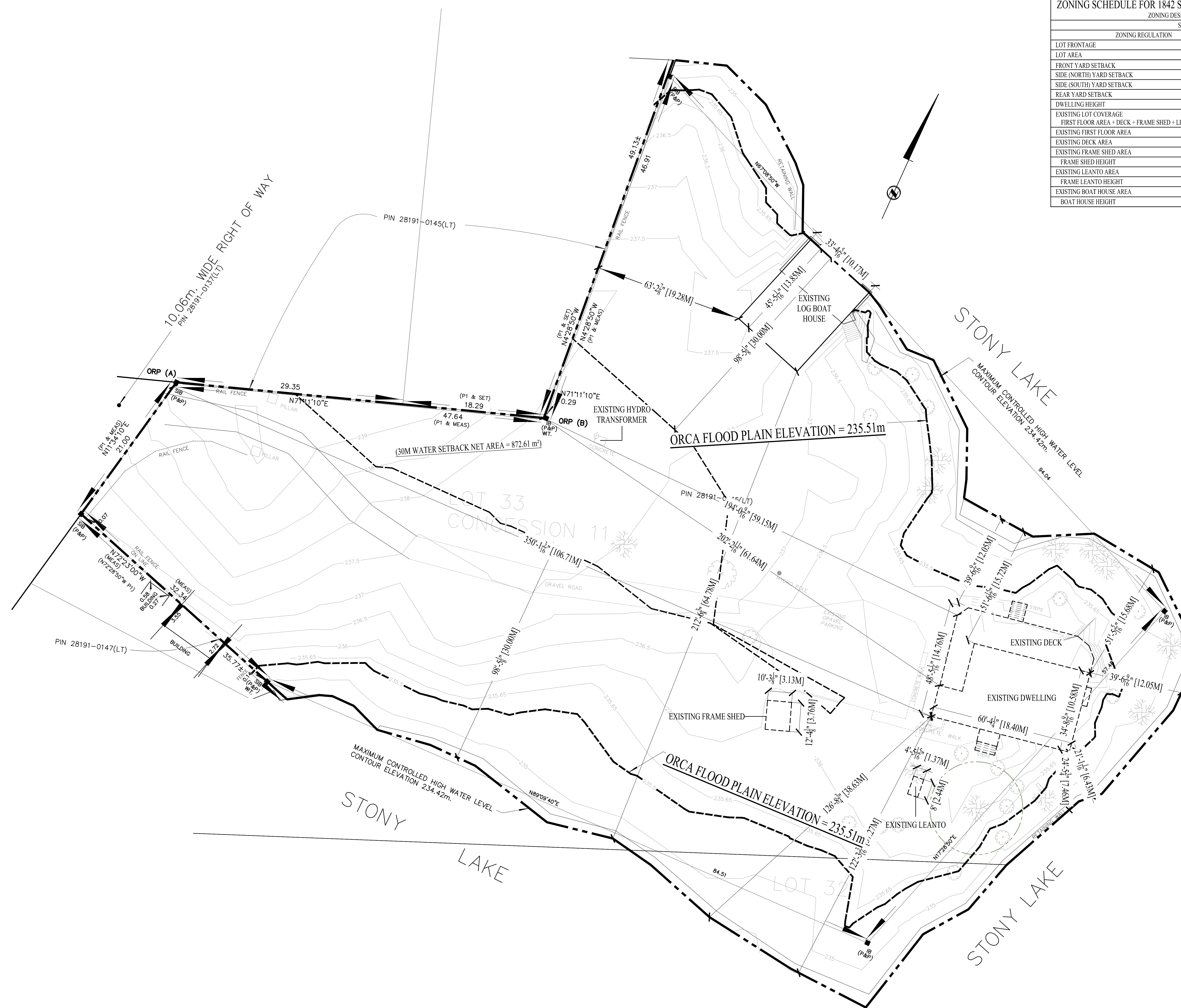
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11/13/2024

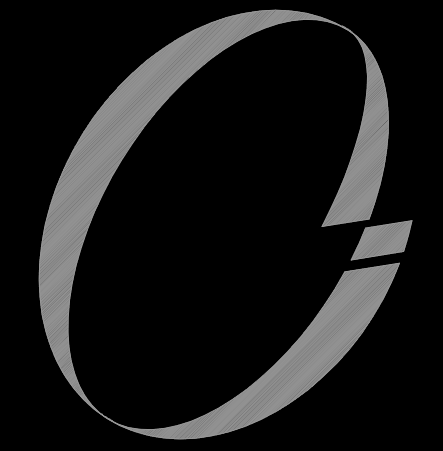
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DRAWING NO.:

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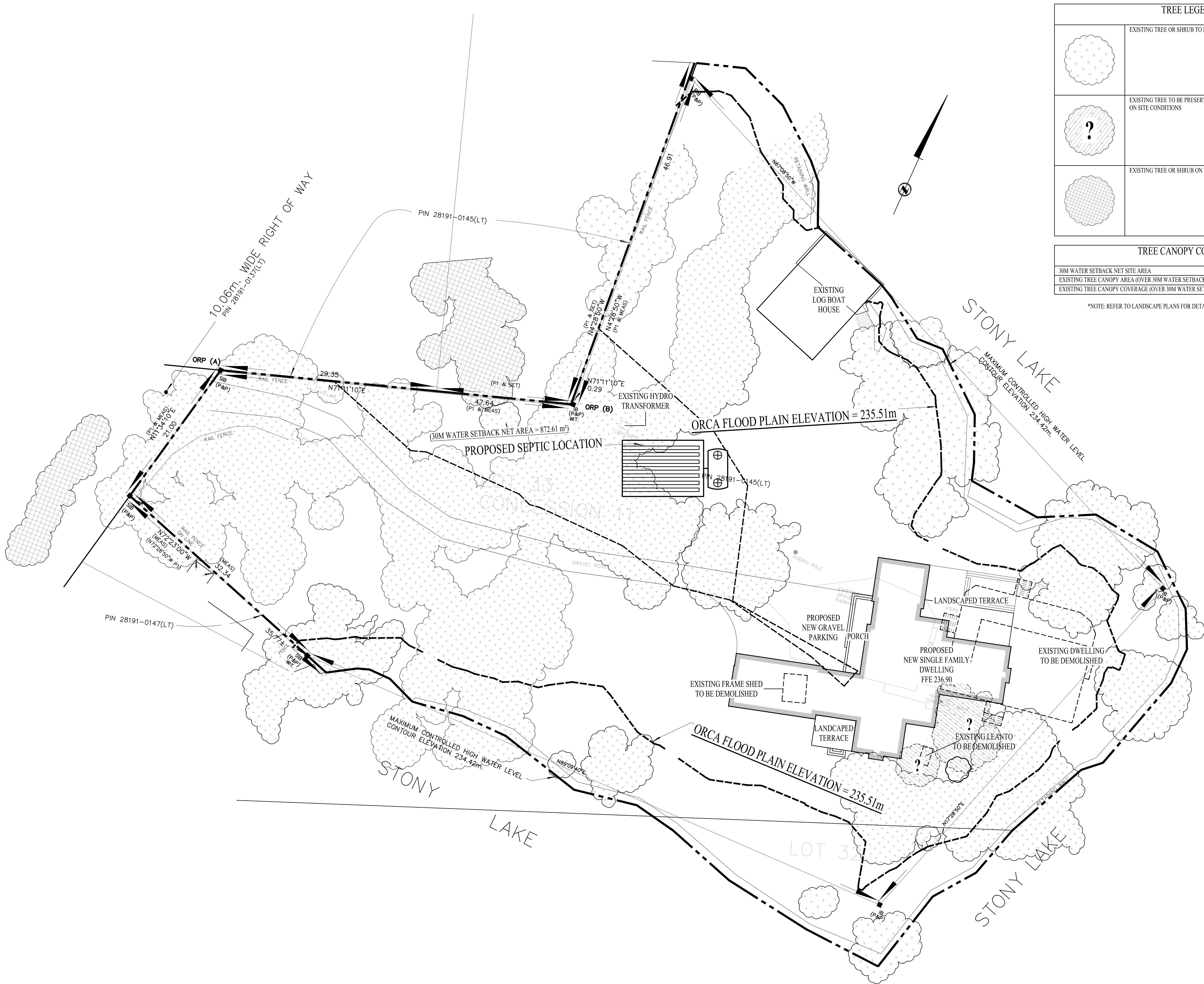
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TREE LEGEND	
	EXISTING TREE OR SHRUB TO BE PRESERVED
	EXISTING TREE TO BE PRESERVATION CONDITIONAL ON SITE CONDITIONS
	EXISTING TREE OR SHRUB ON ADJACENT PROPERTIES

TREE CANOPY COVERAGE	
30M WATER SETBACK NET SITE AREA	872.61 m ²
EXISTING TREE CANOPY AREA (OVER 30M WATER SETBACK)	636.93 m ²
EXISTING TREE CANOPY COVERAGE (OVER 30M WATER SETBACK)	73%

NOTE: REFER TO LANDSCAPE PLANS FOR DETAILS RELATED TO EXISTING TREES



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1	ZONING REVIEW SUBMITTAL	11/13/24
NO.	REVISIONS	DATE

SHEET TITLE:

**SITE PLAN
TREE CANOPY**

DRAWN BY:
M.V.

CHECKED BY:
J.C.

DATE:
11/13/2024

SCALE:
1:250

PROJECT NO.:

DRAWING NO.:

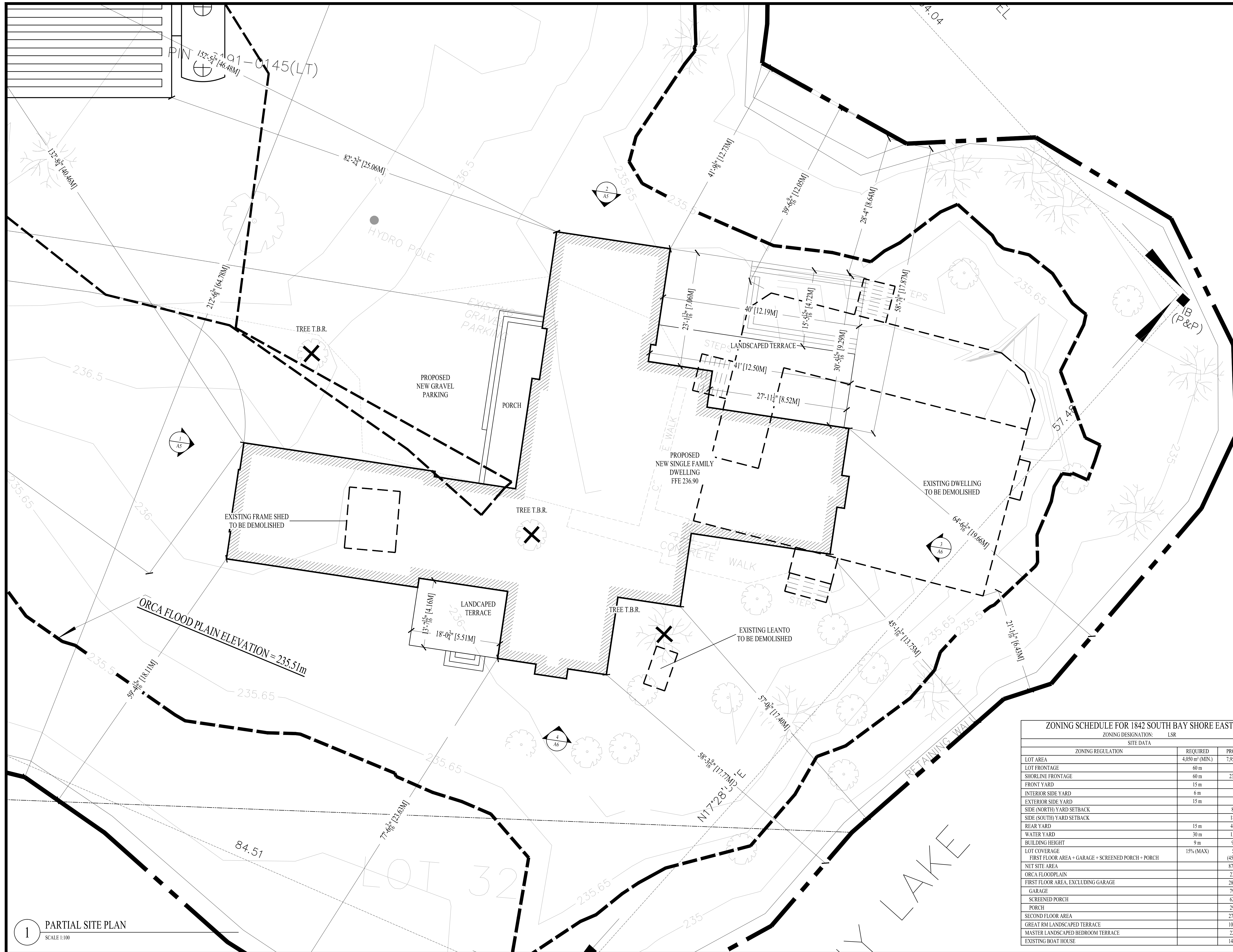
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NO.	REVISIONS	DATE



ZONING SCHEDULE FOR 1842 SOUTH BAY SHORE EAST		
ZONING DESIGNATION: LSR		
SITE DATA		
ZONING REGULATION	REQUIRED	PROPOSED
LOT AREA	4,080 m ² (MIN.)	7,952.84 m ²
LOT FRONTAGE	60 m	N/A
SHORLINE FRONTAGE	60 m	236.03 m
FRONT YARD	15 m	N/A
INTERIOR SIDE YARD	6 m	N/A
EXTERIOR SIDE YARD	15 m	N/A
SIDE (NORTH) YARD SETBACK		8.72 m
SIDE (SOUTH) YARD SETBACK		18.11 m
REAR YARD	15 m	46.48 m
WATER YARD	30 m	13.75 m
BUILDING HEIGHT	9 m	9.21 m
LOT COVERAGE	15% (MAX)	5.69%
FIRST FLOOR AREA + GARAGE + SCREENED PORCH + PORCH		(452.87 m ²)
NET SITE AREA		872.61 m ²
ORCA FLOODPLAIN		235.51m
FIRST FLOOR AREA, EXCLUDING GARAGE		282.04 m ²
GARAGE		79.45 m ²
SCREENED PORCH		62.11 m ²
PORCH		29.27 m ²
SECOND FLOOR AREA		274.70 m ²
GREAT RM LANDSCAPED TERRACE		105.41 m ²
MASTER LANDSCAPED BEDROOM TERRACE		22.92 m ²
EXISTING BOAT HOUSE		140.64 m ²

SHEET TITLE:
PARTIAL SITE PLAN

DRAWN BY: M.V.	CHECKED BY: J.C.
DATE: 11/13/2024	SCALE: 1:100
PROJECT NO.:	DRAWING NO.:

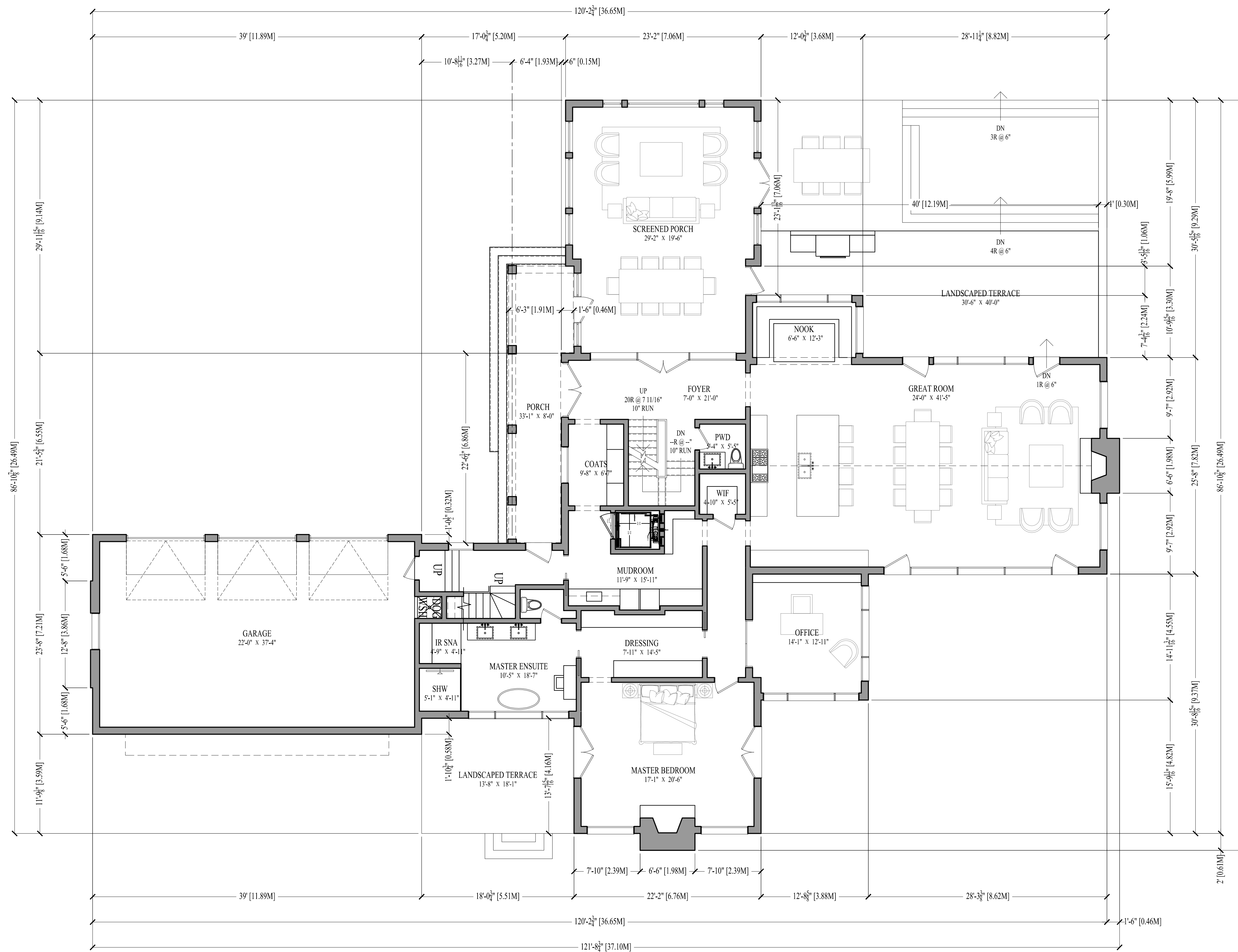
A1

1 PARTIAL SITE PLAN
SCALE 1:100



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NO.	REVISIONS	DATE
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SHEET TITLE:
FIRST FLOOR PLAN

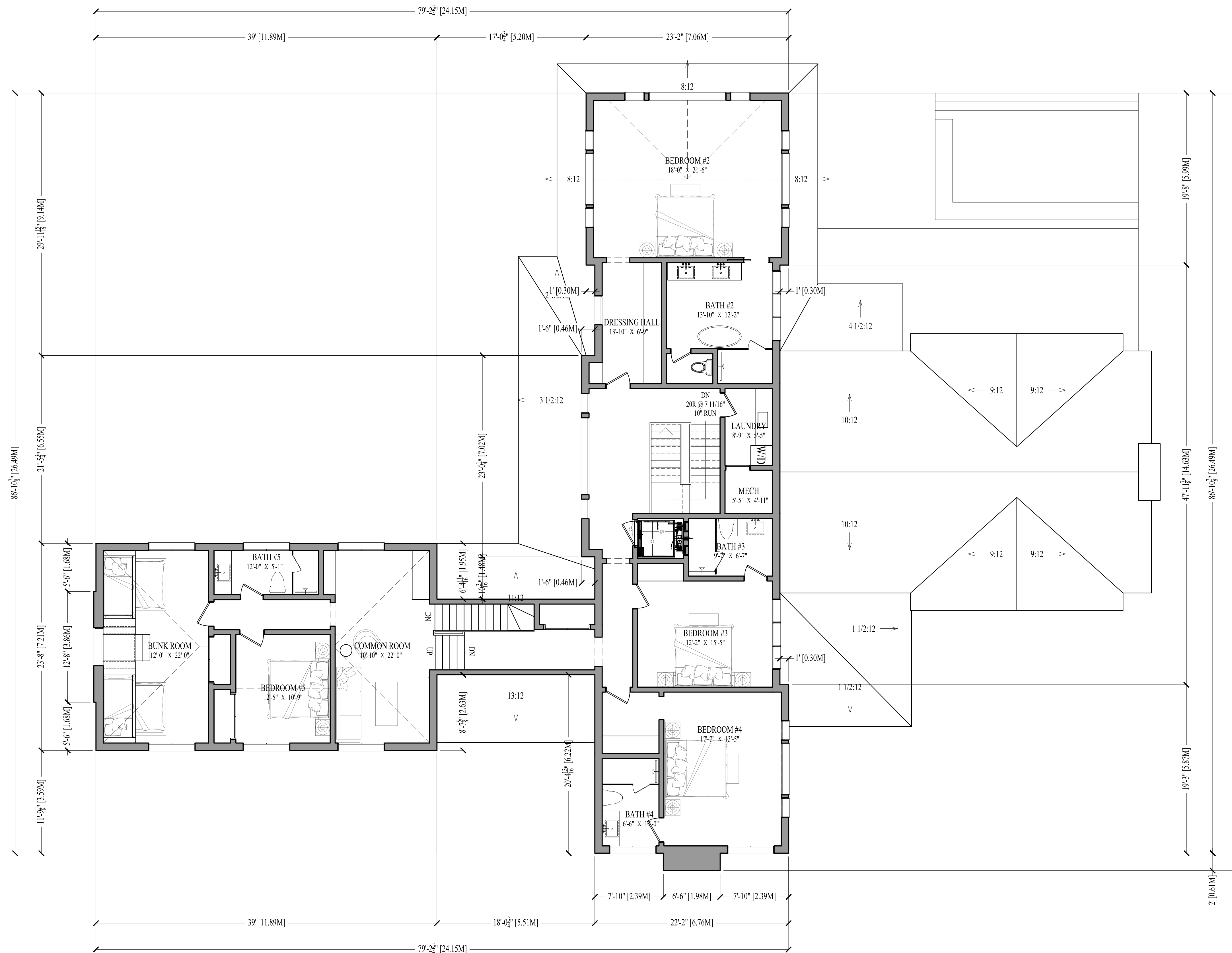
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DATE: 11/13/2024	SCALE: 1:75
PROJECT NO.:	DRAWING NO.:

A2



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CANADA

1842 SOUTH BAYSHORE RD E
ONTARIO
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1	ZONING REVIEW SUBMITTAL	11/13/24
NO.	REVISIONS	DATE

SHEET TITLE:

SECOND FLOOR PLAN

DRAWN BY:
M.V.

CHECKED BY:
J.C.

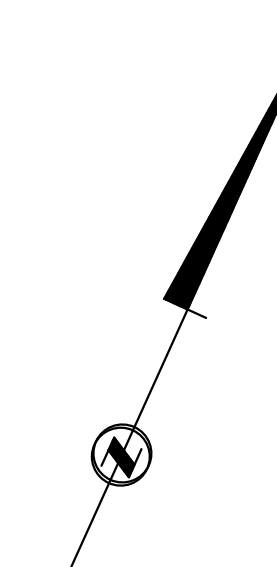
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11/13/2024

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PROJECT NO.:

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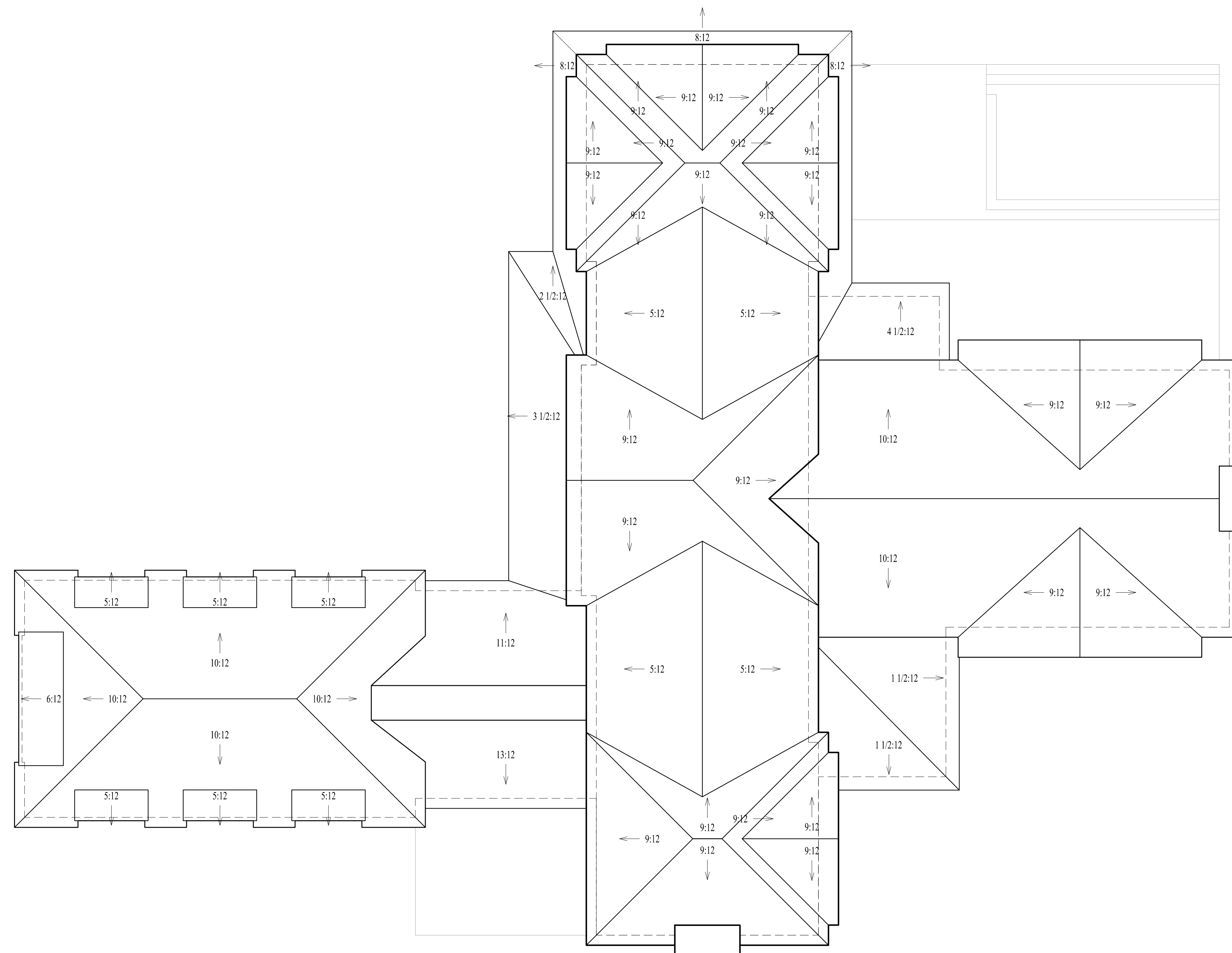
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1	ZONING REVIEW SUBMITTAL	11/13/24
NO.	REVISIONS	DATE

SHEET TITLE:

ROOF PLAN

DRAWN BY:
M.V.

CHECKED BY:
J.C.

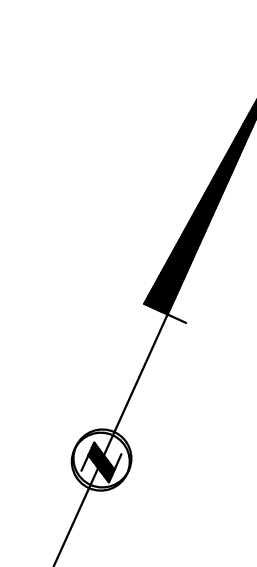
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11/13/2024

SCALE:
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PROJECT NO.:

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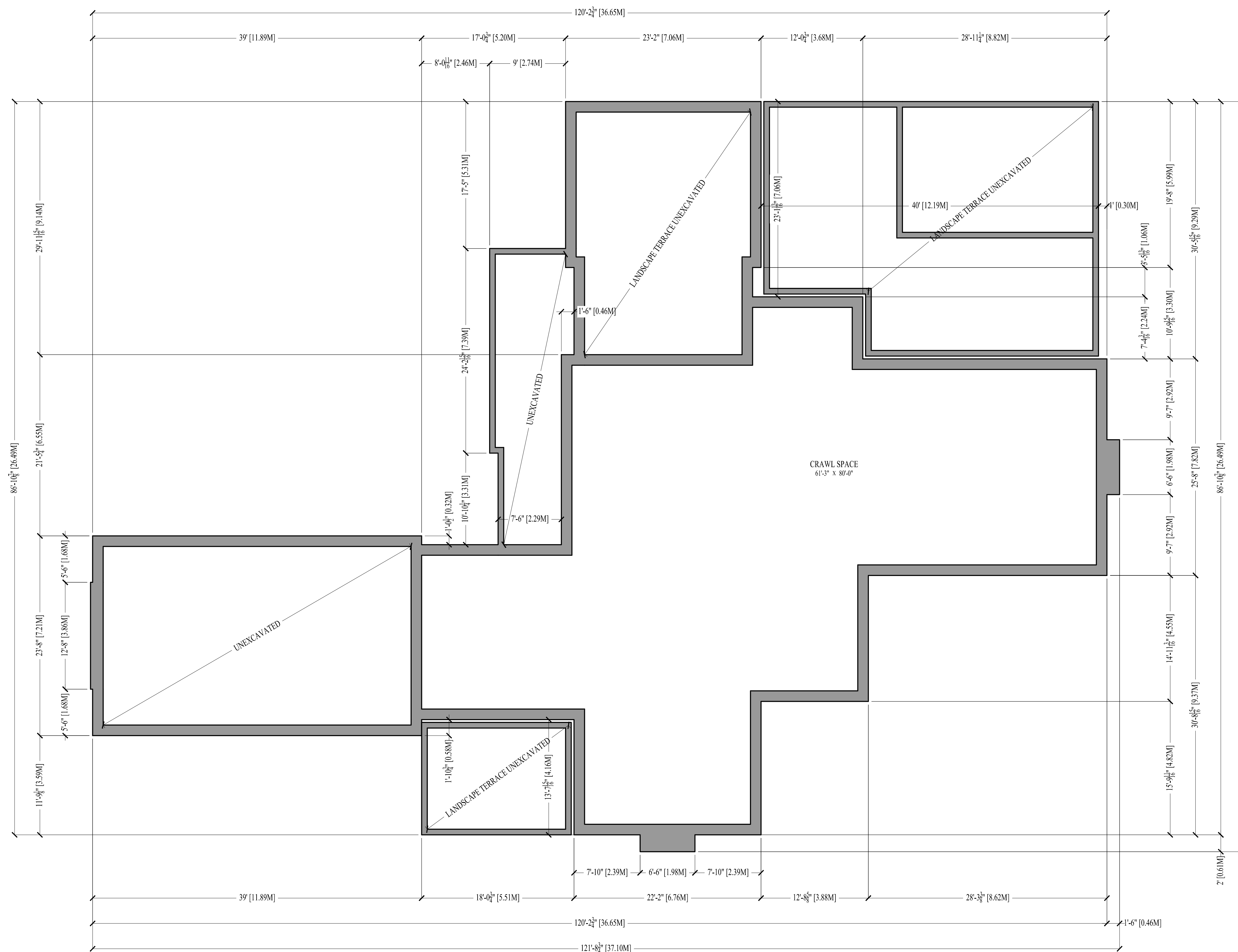
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NO.	REVISIONS	DATE
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2	FOOTPRINT RELOCATED	05/29/25
1	ZONING REVIEW SUBMITTAL	11/13/24

SHEET TITLE:

FOUNDATION PLAN

DRAWN BY:
M.V.

CHECKED BY:
J.C.

DATE:
11/13/2024

SCALE:
1:75

PROJECT NO.:

DRAWING NO.:

A5



JASON CUTAJAR
ARCHITECTURAL DESIGN
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TORONTO, ONTARIO
M9P 2N9
CANADA

1842 SOUTH BAYSHORE RD E
ONTARIO
CANADA



2 SOUTH (RIGHT) ELEVATION
SCALE 1:75



1 WEST (FRONT) ELEVATION
SCALE 1:75

NO.	REVISIONS	DATE
9		
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5	OFFICIAL PLAN AMENDMENT AND ZONING BY-LAW AMENDMENT RESUBMISSION	12/15/25
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SHEET TITLE:
WEST (FRONT) & SOUTH (RIGHT) ELEVATIONS

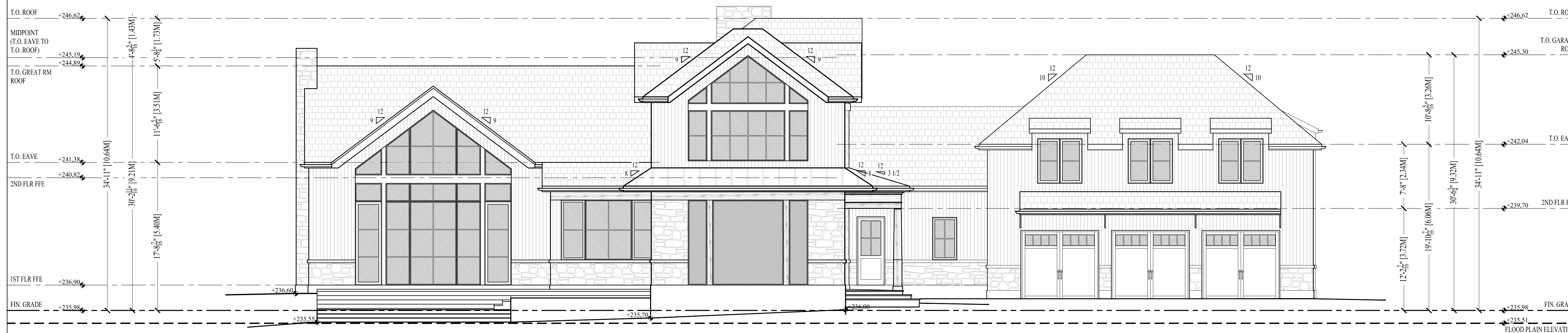
DRAWN BY: M.V.	CHECKED BY: J.C.
DATE: 11/13/2024	SCALE: 1:75
PROJECT NO.:	DRAWING NO.:

A6



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4 NORTH (LEFT) ELEVATION
SCALE 1:75



3 EAST (REAR) ELEVATION
SCALE 1:75

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5	OFFICIAL PLAN AMENDMENT AND ZONING BY-LAW AMENDMENT RESUBMISSION	12/15/25
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1	ZONING REVIEW SUBMITTAL	11/13/24
NO.	REVISIONS	DATE

SHEET TITLE:
EAST (REAR) & NORTH (LEFT) ELEVATIONS

DRAWN BY: M.V.	CHECKED BY: J.C.
DATE: 11/13/2024	SCALE: 1:75
PROJECT NO.:	DRAWING NO.:

A7

RENDERINGS

1842 South Bayshore Road East
Township of Douro-Dummer
Official Plan Amendment and
Zoning By-law Amendment
Application Resubmission

WND Associates Limited
47 Roselawn Avenue
Toronto, ON
M4R 1E5
25.519



PLANNING AND URBAN DESIGN

Existing



Existing recreational dwelling looking west

Proposed



Rendering of proposed recreational dwelling looking west

Existing



Existing recreational dwelling looking west

Proposed



Rendering of proposed recreational dwelling looking west

Existing



Existing recreational dwelling looking west

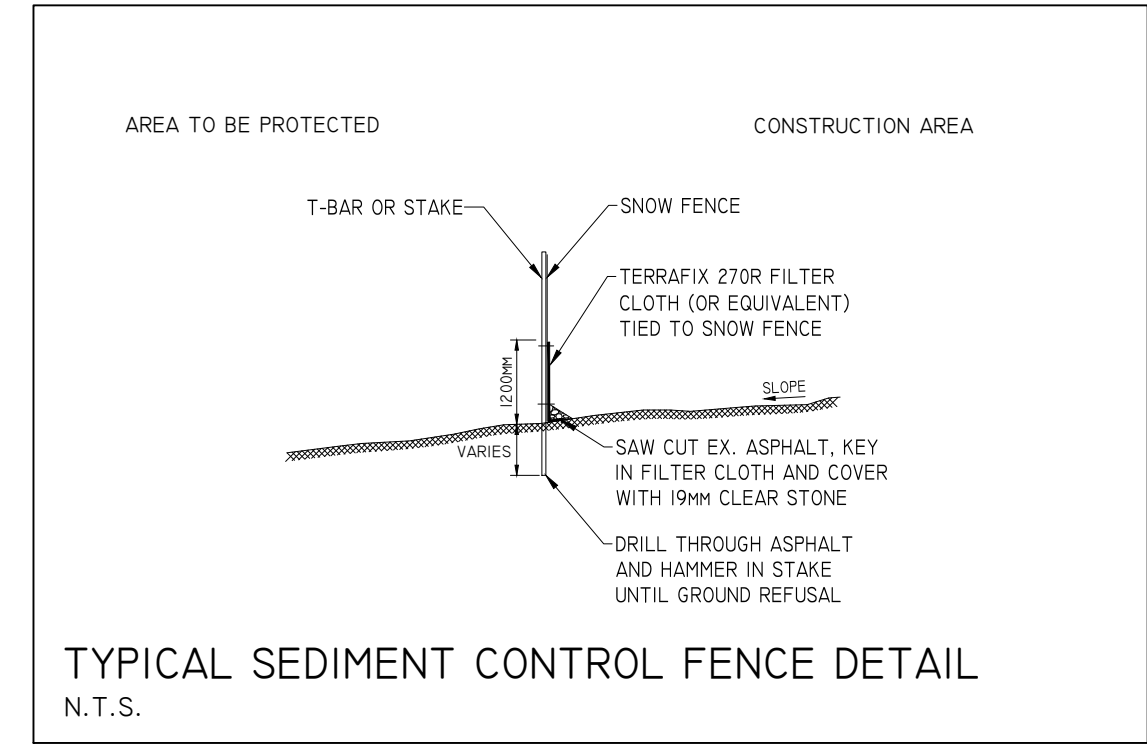
Proposed



Rendering of proposed recreational dwelling looking north

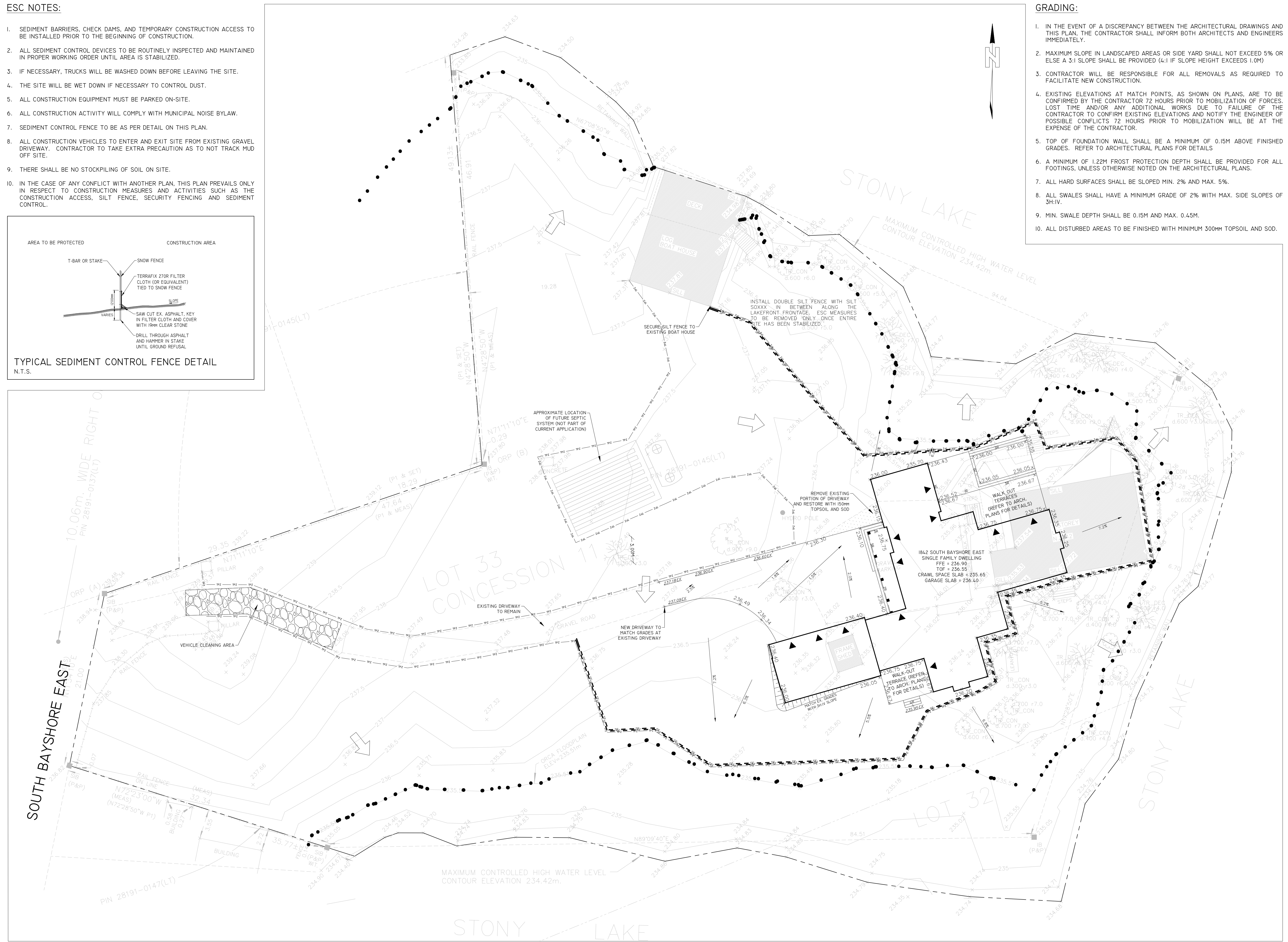
ESC NOTES:

1. SEDIMENT BARRIERS, CHECK DAMS, AND TEMPORARY CONSTRUCTION ACCESS TO BE INSTALLED PRIOR TO THE BEGINNING OF CONSTRUCTION.
2. ALL SEDIMENT CONTROL DEVICES TO BE ROUTINELY INSPECTED AND MAINTAINED IN PROPER WORKING ORDER UNTIL AREA IS STABILIZED.
3. IF NECESSARY, TRUCKS WILL BE WASHED DOWN BEFORE LEAVING THE SITE.
4. THE SITE WILL BE WET DOWN IF NECESSARY TO CONTROL DUST.
5. ALL CONSTRUCTION EQUIPMENT MUST BE PARKED ON-SITE.
6. ALL CONSTRUCTION ACTIVITY WILL COMPLY WITH MUNICIPAL NOISE BYLAW.
7. SEDIMENT CONTROL FENCE TO BE AS PER DETAIL ON THIS PLAN.
8. ALL CONSTRUCTION VEHICLES TO ENTER AND EXIT SITE FROM EXISTING GRAVEL DRIVEWAY. CONTRACTOR TO TAKE EXTRA PRECAUTION AS TO NOT TRACK MUD OFF SITE.
9. THERE SHALL BE NO STOCKPILING OF SOIL ON SITE.
10. IN THE CASE OF ANY CONFLICT WITH ANOTHER PLAN, THIS PLAN PREVAILS ONLY IN RESPECT TO CONSTRUCTION MEASURES AND ACTIVITIES SUCH AS THE CONSTRUCTION ACCESS, SILT FENCE, SECURITY FENCING AND SEDIMENT CONTROL.



GRADING:

1. IN THE EVENT OF A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THIS PLAN, THE CONTRACTOR SHALL INFORM BOTH ARCHITECTS AND ENGINEERS IMMEDIATELY.
2. MAXIMUM SLOPE IN LANDSCAPED AREAS OR SIDE YARD SHALL NOT EXCEED 5% OR ELSE A 3:1 SLOPE SHALL BE PROVIDED (4:1 IF SLOPE HEIGHT EXCEEDS 1.0M)
3. CONTRACTOR WILL BE RESPONSIBLE FOR ALL REMOVALS AS REQUIRED TO FACILITATE NEW CONSTRUCTION.
4. EXISTING ELEVATIONS AT MATCH POINTS, AS SHOWN ON PLANS, ARE TO BE CONFIRMED BY THE CONTRACTOR 72 HOURS PRIOR TO MOBILIZATION OF FORCES. LOST TIME AND/OR ANY ADDITIONAL WORKS DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AND NOTIFY THE ENGINEER OF POSSIBLE CONFLICTS 72 HOURS PRIOR TO MOBILIZATION WILL BE AT THE EXPENSE OF THE CONTRACTOR.
5. TOP OF FOUNDATION WALL SHALL BE A MINIMUM OF 0.15M ABOVE FINISHED GRADES. REFER TO ARCHITECTURAL PLANS FOR DETAILS
6. A MINIMUM OF 1.22M FROST PROTECTION DEPTH SHALL BE PROVIDED FOR ALL FOOTINGS, UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL PLANS.
7. ALL HARD SURFACES SHALL BE SLOPED MIN. 2% AND MAX. 5%.
8. ALL SWALES SHALL HAVE A MINIMUM GRADE OF 2% WITH MAX. SIDE SLOPES OF 3H:1V.
9. MIN. SWALE DEPTH SHALL BE 0.15M AND MAX. 0.45M.
10. ALL DISTURBED AREAS TO BE FINISHED WITH MINIMUM 300MM TOPSOIL AND SOD.



LOCATION PLAN
N.T.S.

LEGEND

- PROPERTY BOUNDARY
- ORCA FLOODPLAIN CONTOUR 235.51
- × 353.00 EX SURVEYED ELEVATION
- × 353.00 EX EXISTING ELEVATION
- × 353.00 TC PROPOSED ELEVATION
- × 353.00 TW PROPOSED TOP OF CURB ELEVATION
- × 353.00 BW PROPOSED TOP OF WALL ELEVATION
- × 353.00 BW PROPOSED BOTTOM OF WALL ELEVATION
- 2.0% PROPOSED DRAINAGE DIRECTION SLOPE
- 3:1 SLOPE PROPOSED 3:1 SLOPE
- SILT FENCE
- WASH AREA
- PROPOSED OVERLAND FLOW DIRECTION
- EX FH EXISTING FIRE HYDRANT
- EX CC EXISTING CURB CUT
- EX MW EXISTING MONITORING WELL
- EX CB EXISTING CATCH BASIN
- EX TD EXISTING TREE AND DIAMETER
- EX HP EXISTING HYDRO POLE
- EX MH EXISTING MANHOLE
- EX WV EXISTING WATER VALVE

SURVEY INFO.

ELLIOT AND PARR
21 SHERBROOKE ST.
PETERBOROUGH, ON
K9J 0Z2
PHONE: (705) 745-8444

BENCHMARK

ELEVATIONS DERIVED FROM
COSINE STATION 00820108002
HAVING A PUBLISHED
ELEVATION OF 240.27
(CGVD28-78)

SITE PLAN INFO

JASON CUTAJAR ARCHITECTURAL
DESIGN
39 BRAYWIN DRIVE
TORONTO, ON
M5P 2N9
PHONE: (416) 277-0179

LIST OF DRAWINGS

001 - NOTES AND DETAILS	
002 - DETAILS AND SECTIONS	
101 - SERVICING PLAN	
401 - GRADING PLAN	
601 - ESC PLAN	

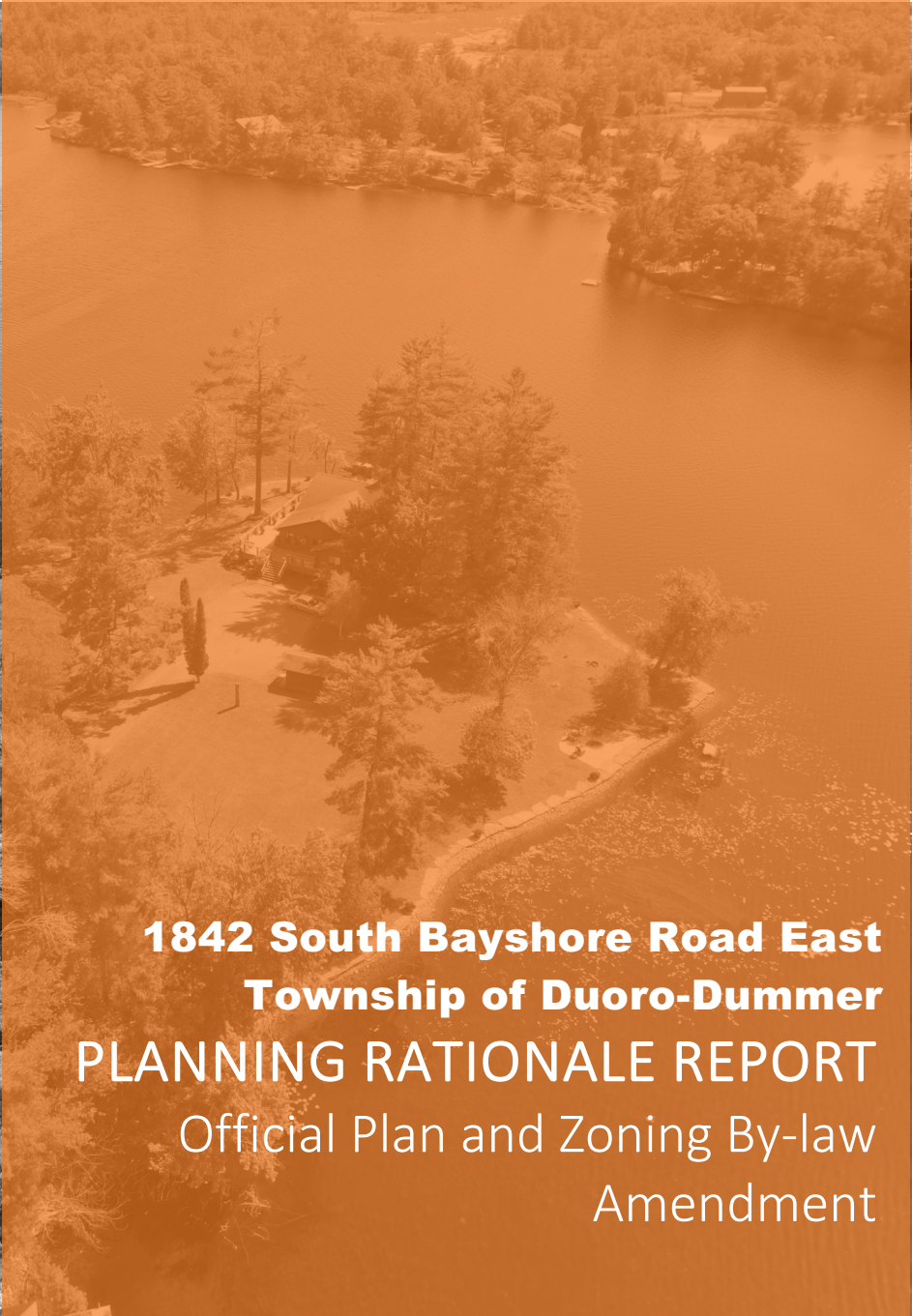
NO.	ISSUE	DATE	BY
2	REVISED HOUSE SITING PLAN	12/06/25	LPM
1	ISSUED FOR OPA/RZA	06/27/25	LPM

SITEPLANTECH INC.
50 ST. CLEMENTS AVENUE
TORONTO, ON M4R 1G9
PHONE: (416) 270-7915

CHERYL COWIE
1842 SOUTH BAYSHORE EAST
DUORO DRUMMER, ON

GRADING AND EROSION & SEDIMENTATION CONTROL PLAN

PROJECT No.:	25-016	DRAWING:	401
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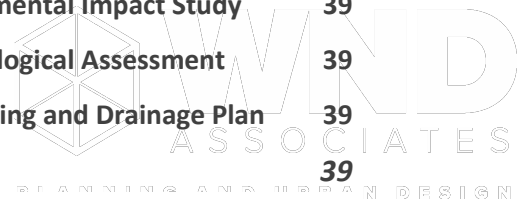
**1842 South Bayshore Road East
Township of Duoro-Dummer**
PLANNING RATIONALE REPORT
Official Plan and Zoning By-law
Amendment



February 2025

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1.0 Introduction

Walker, Nott, Dragicevic Associates Limited (“WND Associates”) has been retained by Ms. Cheryl Cowie to assist in the application approval process for the development of a new detached recreational dwelling located at 1842 South Bayshore Road East (“the Subject Site”), in the Township of Duoro-Dummer (the “Township”). The Subject Site is located on the south shoreline of Stoney Lake and is approximately 1.6 kilometers north of County Road 6. For the purposes of this report the terms recreational dwelling and cottage are used interchangeably.

The Proposed Development is comprised of a new two-storey single detached recreational dwelling which will replace the existing single-storey recreational dwelling on the property through demolition and new construction. Further to the Pre-consultation meeting attended on March 27, 2025, the construction of the new detached recreational dwelling requires the submission of an amendment to the County of Peterborough’s Official Plan (the “County OP”) and an amendment to the Township of Duoro-Dummer’s Zoning By-law. The new recreational dwelling’s footprint and the proposed landscaped steps and terrace are located outside of the Otonabee Region Conservation Authority’s (ORCA) floodplain elevation. Due to the lot’s irregular shape, and peninsula-like configuration, over 90% of the pre-existing property is within the 30-metre water yard setback.

The Proposed Development also includes a new septic tank which is located outside of the 30-metre water yard setback and in an area where it is permitted by the County OP and Township Zoning By-law.

The Proposed Development does not include any alterations to the existing boat house structure.

1.1 Purpose

This report, along with other supporting technical studies and plans, is prepared in support of the Official Plan Amendment (the “proposed OPA”) and Zoning By-law Amendment (the “proposed ZBA”) which are required to implement the Proposed Development. The purpose of this report is to review the Proposed Development with respect to its regard for matters of Provincial Interest under the Planning Act, consistency with the Provincial Planning Statement (2024) and its conformity with the County OP and/or how the intent of the OP continues to be met with the proposed OPA.

In summary, the following policy, guideline and regulatory documents have been reviewed:

- Ontario Planning Act;
- Provincial Planning Statement, 2024;
- County of Peterborough Official Plan; and,
- Township of Duoro-Dummer Zoning By-law.

1.2 Consultation Prior to Application

On March 27, 2025 WND attended a Pre-consultation Meeting with Township of Duoro-Dummer Staff. ORCA Staff and a representative from the Hiawatha First Nation were also in attendance. Following the Pre-consultation Meeting, an application checklist was received in May of 2025 from Township Planning

Staff identifying the following studies and plans required to support complete Official Plan Amendment and Zoning By-law Amendment Applications:

- Planning Rationale Report;
- Lot Grading and Drainage Plan;
- Environmental Impact Analysis; and,
- Archaeological Study.

Following the Pre-consultation Meeting, the Applicant revised the proposal to locate the north landscaped terrace fully outside of the ORCA floodplain elevation offset.

2.0 Summary of Findings

The Proposed Development represents an appropriate scale of redevelopment on an irregularly shaped waterfront property which has existed for many years. The Proposed Development is also located outside of the ORCA floodplain and is in a location on the property where it does not introduce any environmental impacts between itself and the shoreline or any unintended visual impacts on surrounding properties. Considerable effort has been made by the project architect, Jason Cutajar, to balance siting the new dwelling with other site constraints, including the septic tank (proposed outside of the 30-metre water yard setback in a by-law compliant location), minimization of tree removals and a location where redevelopment does not impact the lot's pre-existing topography, landscaped character or drainage patterns.

Specifically, the Proposed Development:

- Is appropriately scaled and configured to fit within the existing and planned context of recreational dwellings on landscaped lots partially screened by vegetation, where the proposed reduced water yard setback and slightly increased height fit well within the Stoney Lake vernacular;
- Has regard for the purpose of the Planning Act and matters of Provincial Interest;
- Is consistent with the policies of the Provincial Planning Statement, 2024;
- Is a permitted land use within the County OP's Lakeshore Residential land use designation and is permitted under the Township's Lakeshore Residential zone;
- Conforms to or implements the overall intent of the policy direction of the County OP in respect of the 30-metre minimum water yard setback standard;
- Is located fully outside of the ORCA floodplain;
- Locates the septic tank in an appropriate location on the property where it does not impede within the 30-metre water yard setback standard for environmental reasons;
- Will not introduce any unmitigable environmental impacts on the property, the shoreline, or adjacent properties according to the Environmental Impact Study (EIS) prepared by Oakridge Environmental and provided the conditions recommended by Oakridge are met;
- Seeks to enhance the naturally vegetated shoreline through compensatory tree or shrub planting at a 5:1 rate;

- Will have no impacts on archaeological resources as the Archaeological Study prepared by Northeastern Archaeological concluded there are no archaeological resources on the property; and,
- Will maintain an appropriate lot grading and drainage pattern as detailed on the enclosed lot grading and drainage plan prepared by SitePlanTech.

3.0 Physical Context

3.1 Subject Site

The Subject Site (**Figure 1, Figure 2, Figure 3 and Figure 4**) is located on the southeast shoreline of Stony Lake (also known as the Upper Stony Lake area) and is approximately 1.6 kilometres north of County Road 6. South Bayshore Road East is a private road which extends northeast from South Bay Road providing vehicular access to several waterfront properties including the Subject Site.

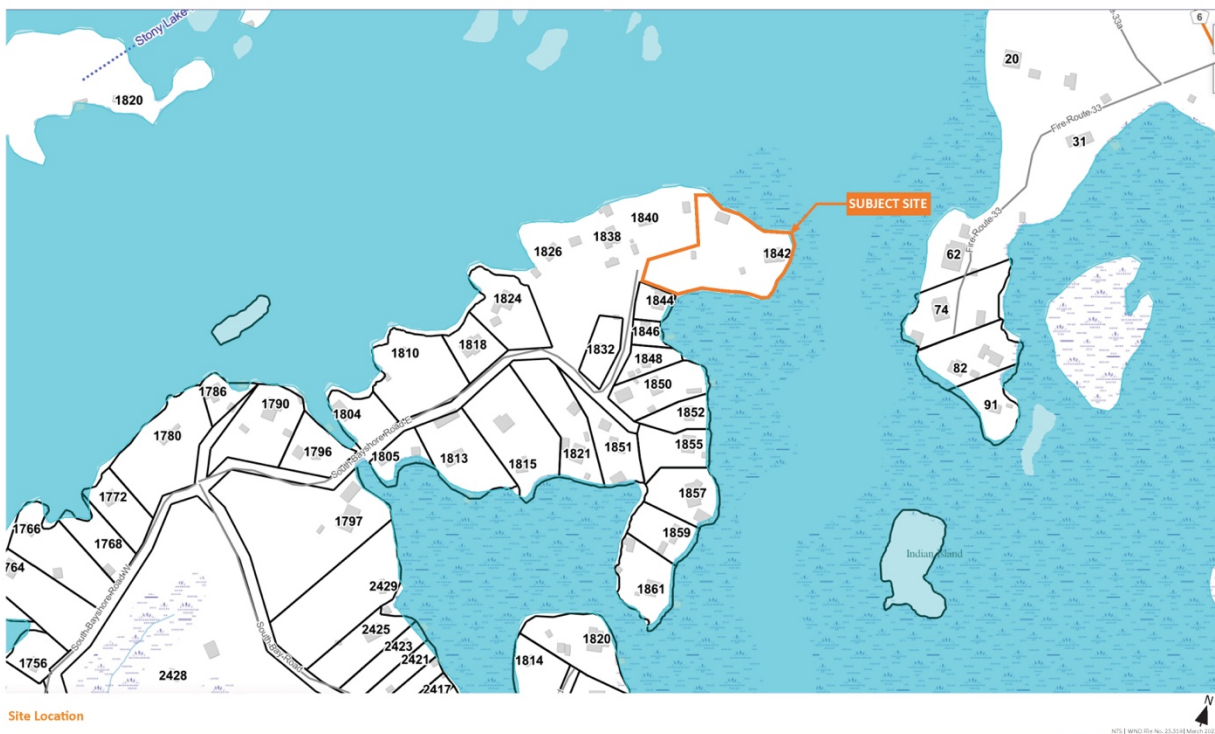
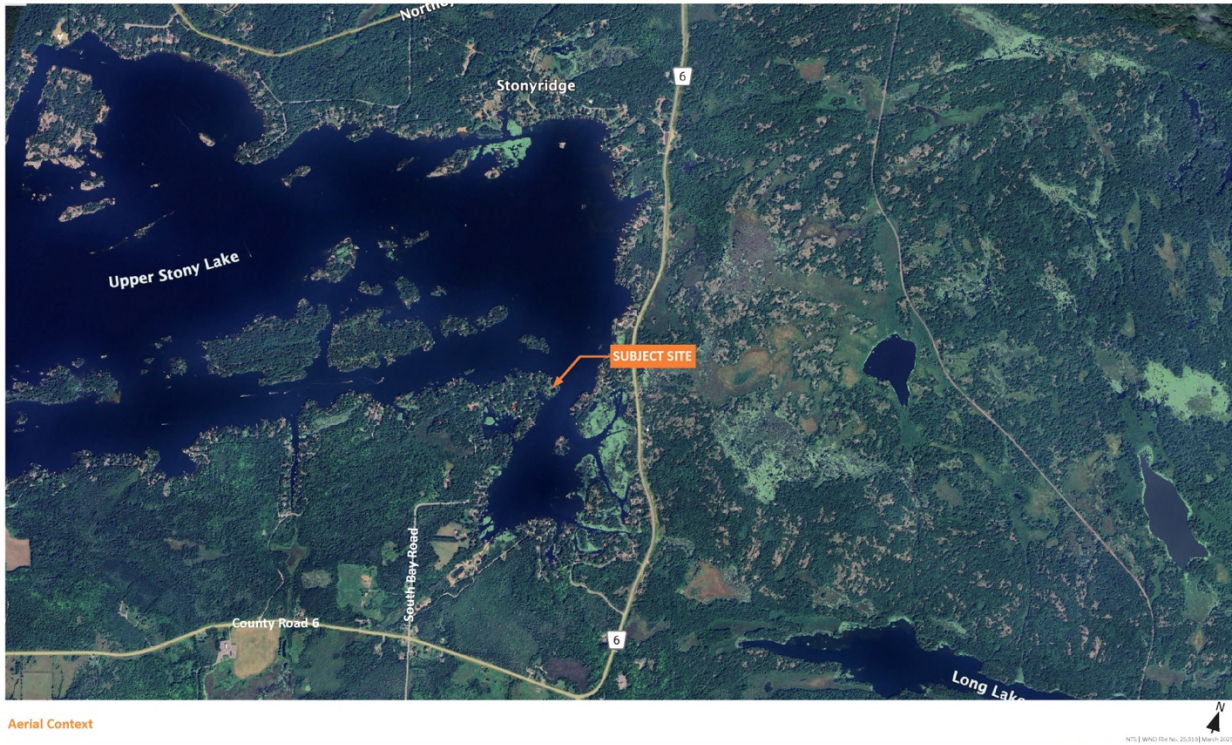


Figure 1: Subject Site County of Peterborough Open GIS - address and lot fabric.



Aerial Context

NTS | WMO File No. 23.018 | March 2025

Figure 2: Subject Site aerial context.



Aerial Context

NTS | WMO File No. 23.018 | March 2025

Figure 3: Subject Site Aerial Context

The Subject Site has an irregular peninsula-like shape and is an anomaly in respect of the existing lot fabric of surrounding properties. The Subject Site does not have the same depth as other properties to its west and projects outwards in its land formation towards the water. As such, the Subject Site has shoreline access on multiple frontages or three water yards (**Figure 4, Figure 5, Figure 6 and Figure 7**).



Figure 4: Subject Site looking north.



Figure 5: Subject Site looking east.



Figure 6: Subject Site looking south.



Figure 7: Subject Site looking west.

The Subject Site is 7,952.84 square metres in area, however, due to its irregular shape, over 90% of the Subject Site is within the 30-metre minimum water yard setback (an area where no new replacement dwelling development is permitted by the Township's Zoning By-law). Taking into account all water yard setback areas, the Subject Site has a total shoreline frontage of 236 metres (774 feet) according to the enclosed Plan of Survey. **Figure 8** provides an aerial perspective of the Subject Site showing the various water yard frontages.



Figure 8: Subject Site existing context.

With respect to existing buildings and structures, the Subject Site contains an existing single-storey detached recreational dwelling with an associated wood deck (**Figure 9, Figure 10, Figure 11, Figure 12, and Figure 13**).



Figure 9: Subject Site existing single-storey detached recreational dwelling.



Figure 10: Subject Site existing driveway and context.



Figure 11: Existing recreational dwelling looking east.



Figure 12: Existing recreational dwelling looking south.



Figure 13: Existing recreational dwelling looking north.

The Subject Site also contains an existing boat house with a footprint of 140.64 square metres (**Figure 14**) and a wood frame shed (**Figure 15**).



Figure 14: Existing boat house.



Figure 15: Existing wood frame shed (proposed to be demolished).

Further the Subject Site includes landscaped open space (**Figure 16**) and trees. The Subject Site is relatively flat generally towards the middle of the property and slopes downward towards the various water yards as shown on the enclosed plan of survey.



Figure 16: Subject Site existing aerial context.

3.2 Adjacent Land Uses

The Stoney Lake shoreline contains a mix of public and private roads which provide access to primarily seasonal recreational dwellings (cottages) and other forms of interspersed detached dwellings (permanent homes). The surrounding area context is generally characterized by landscaped lots containing various detached dwelling types and boat houses along with trees ranging in age and variety. Surrounding properties on South Bayshore Road East also fall within the County Official Plan's *Lakeshore Residential* land use designation and the Limited Service Residential zoning category of the Township's Zoning By-law. However, the nearby property at 1824 South Bayshore Road East is located within Special District (S. D. 218) which permits a new recreational dwelling.

North: To the north (**Figure 17**) is an open portion of Stoney Lake. Further to the north, and within the Township of North Kawartha, the properties on the west side of County Road 6 exhibit a similar pattern of development of primarily recreational dwellings on landscaped lots with shoreline frontage (**Figure 18**). Further, the north shoreline of Stoney Lake, also within the Township of North Kawartha and approximately 1.4 kilometres from the Subject Site exhibits a similar pattern of development.

East: To the east of the Subject Site is a narrower open portion of the Stoney Lake waterbody (**Figure 19**). Beyond which is a similar peninsula-like land formation in the Township of North Kawartha. Similar recreational dwellings are visible looking east from the Subject Site with shoreline frontage on Stoney Lake. These cottages are accessible from Fire Route 33 (**Figure 20**).

South: To the south of the Subject Site is the South Bay Area of Stoney Lake including Indian Island (which can be seen from the Subject Site looking south) and the Sunrise Bay Area which includes other recreational dwellings (cottages) having frontage along Stoney Lake along South Bayshore Road East, South Bay Road and Hulls Road (**Figure 21, Figure 22, Figure 23, Figure 24**).

West: To the west of the Subject Site are Pine Island and Long Island, among a cluster of other islands, located just off of the south shoreline of Stoney Lake (**Figure 25**). West of the Subject Site, along South Bayshore Road West, Julia's Shore Road East, Julia's Shore Road West and Julia's Creek Road West, where the pattern of recreational cottage dwelling development continues interspersed amongst trees and landscaped lots of varying sizes and configurations (**Figure 26 and Figure 27**).



Figure 17: Subject Site looking north.



Figure 18: Development along the Stoney Lake shoreline north of the Subject Site in the Township of North Kawartha. County Road 6 is shown on the right.



Figure 19: Subject Site looking east.



Figure 20: Similar pattern of development within the 30-metre water yard setback on Fire Route 33, Township of North Kawartha across the lake from the Subject Site.



Figure 21: Subject Site looking south towards South Bay and Indian Island.



Figure 22: Similar pattern of development within the 30-metre water yard setback south of the Subject Site along the South Bay shoreline (looking southeast).



Figure 23: Similar pattern of development within the 30-metre water yard setback south of the Subject Site along the South Bay shoreline (looking northwest).



Figure 24: Example of a recreational dwelling within the 30-metre water yard setback at nearby 1857 South Bayshore Road East.



Figure 25: Stoney Lake aerial context looking west.



Figure 26: Examples of buildings and structures within the 30-metre water yard setback west of the Subject Site.



Figure 27: South Bayshore Road East development context west of the Subject Site looking south.

In summary, the surrounding area context is characterized by a predominant pattern of detached recreational dwellings (cottages) with shoreline frontage along Stoney Lake with land access from a mix of private and public roads. As evidenced by the foregoing aerial photographs, and other grade-related images captured during various area site visits, buildings and structures have co-existed with the natural environment within the 30-metre water yard setback for many years along Stoney Lake's shoreline. Further, our site observations highlight that new development continues to be approved within 30 metres of Stoney Lake's shoreline, through contemporary applications on existing lots, where it is appropriate and where there are no negative environmental impacts.

Further, the existing context contains buildings of varying heights and architectural styles ranging from contemporary flat rooflines to a more traditional peaked roof. The perceptibility of height is unique in this context as it is typically either observed at a distance from the water or otherwise concealed from a local street or side yard condition through soft landscaping or trees.

3.3 Area Development Applications

There have been several recent approved development applications in the Township, and in particular along the south shoreline of Stoney Lake, for new replacement recreational dwellings within the 30-metre water yard setback including the following:

- 1304 Whetung Road (2022): 16.6-metre minimum water yard setback (Zoning By-law Amendment).
- 1604 Julia's Creek Road West (2023): 11.38-metre minimum water yard setback (minor variance).
- 1448 Miles Shore Road West (2024): 13.0-metre minimum water yard setback (minor variance).
- **1842 South Bayshore Road East (Proposed Development): 11.81-metre minimum water yard setback.**

4.0 Proposed Development

4.1 Proposed Built Form

The Proposed Development includes the demolition of the existing single-storey recreational dwelling along with demolition of the existing wood frame shed. The existing boat house located along the north shoreline of the property is proposed to remain and no further expansion is proposed as part of the application.

The Proposed Development would be comprised of the construction of a new two-storey recreational (cottage) dwelling with an attached garage which has been nestled and configured in a location which provides an opportunity for it to be set back further from the east and south water yard than the existing dwelling. The Proposed Development is also sited in a location where it is fully outside of the ORCA floodplain elevation of 235.51 metres (shown as an offset on the architectural plans). The Proposed Development has also been sited in a location which considers the preservation of existing trees on the property and where the associated septic tank can be appropriately located outside of the 30-metre water yard setback area. The proposed cottage would also be served by a new gravel driveway which generally follows the same configuration of the existing gravel driveway.

The Proposed Development is two storeys with a height of 9.21 metres as calculated following the Township's Zoning By-law definition of height for a sloped roof condition. The lot coverage is 5.69%. Taken together with the existing boat house the total lot coverage is 7.45% (well below the 15% permitted).

The first floor (282.04 square metres in area) contains a combination of living and bedroom areas along with the proposed garage (79.45 square metres). The first floor also contains a walk-out landscaped terrace in the northeast portion of the footprint, a smaller landscaped terrace in the south portion of the footprint and a landscaped terrace front porch at the entrance. These areas are not intended as horizontal encroachments regulated by Section 3.1.9 of the Township Zoning By-law and are instead configured so that they are embedded into the soft landscaping of the property as stone patios with steps leading up to building entrances. Similar hardscape patio areas were provided as part of another recent cottage development at 1604 Julia's Creek Road where landscaped terraces were considered as part of the overall

site landscaping (hardscape) and not horizontal encroachments regulated by Zoning By-law Section 3.19. The proposed northeast landscaped terrace is located in a similar location to the existing cottage's deck.

The second floor is comprised of bedrooms, hallway and storage space and associated washrooms, and has a total floor area of 274.70 square metres.

The Proposed Development's various water yard setbacks are illustrated on Architectural Site Plan A0 prepared by Jason Cutajar.

According to the EIS prepared by Oakridge, the Proposed Development will not result in any adverse impacts between itself and the shoreline or along the immediately surrounding water body with the setbacks shown.

4.2 Analysis of Key Site Constraints and Opportunities Requiring Consideration of a Site-specific OPA and ZBA

As previously described, the Subject Site is 7,952.84 square metres in area, however, due to its irregular shape, over 90% of the Subject Site is within the 30-metre minimum water yard setback area regulated by the Township's Zoning By-law and County Official Plan. As the minimum water yard setback is taken as a 30-metre offset parallel to associated shoreline, it has the effect of crossing over in some instances from multiple water yards and significantly contracts the Subject Site to a narrow portion concentrated at the rear (which would have the effect of inappropriately locating new development close to a rear lot line and surrounding property lines contrary to the established pattern of development of nearby sites, many of which also provide for buildings and structures within the minimum 30-metre water yard setback).

The standards of the Township's By-law may not apply as intended to properties which are an anomaly in shape and configuration, and in particular within the Limited Service Residential Zone (LSR) context where many lots, such as the Subject Site, existed prior to the current Zoning By-law coming into force and effect.

The following provides a summary of key site constraints and opportunities in respect of the need to amend the County Official Plan and Township Zoning By-law as it relates to the 30-metre minimum water yard setback standard.

Constraints:

- **Lot shape and configuration:** As described in the sections above, the Subject Site has shoreline frontage along water yards in the north, east and south directions. The Subject Site also has an irregular 'peninsula-like' shape and configuration and when the 30-metre water yard setback is applied as an offset it has the effect of limiting the developable portion of the lot to a small section at the rear having an area of 872.61 square metres despite the total site area being 7,952.84 square metres. In other words, over 90% of the property is within the 30-metre water yard setback along with the entire existing cottage.
- **Appropriate location of the septic tank:** Given that an acceptable location for a new septic system would be limited to the area of the property falling outside of the 30-metre water yard setback the net developable portion of the property would be even further limited. This also prevents the proposed dwelling from being located closer to the interior of the lot, which in our opinion, would be inappropriately close to neighbouring lot lines and dwellings and

would also result in a septic tank and drainage field in an environmentally unacceptable location closer to the shoreline.

Opportunities:

- **Preservation of existing trees between the Subject Site and adjacent properties along South Bayshore Road East:** The existing trees will continue to provide a visual buffer between the Proposed Development, and in particular the proposed site-specific amendment for increased height of 21 cm (which in and of itself is minor and would be non-perceptible from adjacent properties or the water).
- **Improve upon the existing dwelling's water yard setback condition by locating the replacement dwelling further away from the Subject Site's east and south shoreline:** As opposed to building up along an existing wall or expanding upon the legal non-conforming use condition, both of which may be permitted through a minor variance or zoning by-law amendment application, according to the County Official Plan, the Proposed Development will be set back further away from the east and south water yards. At its minimum point, the existing dwelling is set back 6.43 metres from the east water yard's shoreline. The Proposed Development, measured from the same east water yard, would be set back 11.81 metres from the shoreline at its minimum point. With the exception of the removal of three or four trees, of which no issue was highlighted in the Oakridge Report, the Proposed Development would include the preservation of the balance of existing trees on the Subject Site. Replacement tree compensation is proposed at a rate of 5:1 for any tree proposed to be removed.

4.3 Proposed County of Peterborough Official Plan Amendment

An Official Plan Amendment was determined to be required through the Pre-consultation Meeting process to implement the Proposed Development. The Applicant recognizes the similarities and differences between the various examples discussed with Staff and that the need for various combinations of planning applications is determined on a case-by-case basis given the unique circumstances of each proposal and lot configuration.

That being said, the examples discussed with Staff are consistent in that reduced water yard setbacks were considered appropriate subject to a satisfactory EIS prepared by a qualified environmental consultant demonstrating no adverse impacts (as with the EIS submitted in support of the Proposed Development).

It is proposed that the Official Plan Amendment recognize a new site-specific exception under Policy Sections 4.4.3 and 6.2.6.3 to recognize the lot's unique size and configuration in respect of the minimum 30-metre water yard setback requirement. WND will continue to work with County and Township Planning Staff through the application review process in drafting an appropriate site-specific exception.

4.4 Proposed Zoning By-law Amendment

A Zoning By-law Amendment is required to create a new Special District (S. D.) Zone to recognize the Subject Site's unique configuration and attributes and to allow for the development of a new recreational dwelling having:

- a minimum water yard setback of 11.81 metres, whereas 30 metres is required; and,
- a maximum height of 9.21 metres, whereas 9.0 metres is required (21 cm difference).

WND will continue to work with Township Planning Staff and the CBO through the application review process in drafting an appropriate ZBA including a new Special District Zone along with any drawings (i.e. the site plan) which would be secured as a condition of the ZBA process given there are varying water yard setbacks ranging from 11.81 metres to 18.15 metres.

5.0 Planning Framework

The Subject Site is subject to Provincial and local municipal planning policies contained in the following statutory planning documents:

- Ontario Planning Act;
- Provincial Planning Statement, 2024;
- County of Peterborough Official Plan; and,
- Township of Duoro-Dummer Zoning By-law.

The following sections review and analyze the Proposed Development in the context of the above noted policies.

5.1 Ontario Planning Act

Section 2 of the Planning Act sets out matters of Provincial Interest. In carrying out their responsibilities under the Planning Act, the council of a municipality shall have regard for various matters of provincial interest. The following matters of provincial interest, in particular, are relevant to the Proposed Development:

“(a) the protection of ecological systems, including natural areas, features and functions;

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

(e) the supply, efficient use and conservation of energy and water;

(f) the adequate provision and efficient use of communication, transportation, sewage and water services and waste management systems;

(h) the orderly development of safe and healthy communities;

(h.1) the accessibility for persons with disabilities to all facilities, services and matters to which this Act applies;

- (j) the adequate provision of a full range of housing, including affordable housing;*
- (l) the protection of the financial and economic well-being of the Province and its municipalities;*
- (p) the appropriate location of growth and development;*
- (r) the promotion of built form that, (i) is well-designed, (ii) encourages a sense of place, and (iii) provides for public spaces that are of high quality, safe, accessible, attractive and vibrant;”*

With respect to a) and e), the Oakridge EIS concludes the Proposed Development will not result in any unmitigable impacts on the property, the surrounding Stoney Lake waterbody or the nearby Hull South Bay Provincially Significant Wetland. The Oakridge EIS also proposes a series of mitigation measures and conditions which are appropriate for the protection of observed ecological systems and features and the conservation of the nearby waterbody.

With respect to d), no archeological resources were found as concluded by the Archeological Assessment Report prepared by Northeastern Archaeological Services Limited.

With respect to f), the proposed septic tank is located outside of the 30-metre water yard setback. The sizing of the septic tank will be completed as part of the permit process although its conceptual size and location has been considered as part of the OPA and ZBA application and is shown on the architectural plans which has regard for the adequate provision of sewage and waste management on-site and in a location where there will be no adverse environmental impacts.

With respect to h) through p) and r), the Proposed Development reinforces an orderly pattern of detached recreational dwelling development along the Stoney Lake shoreline where there are several nearby and recent examples of new development within the 30-metre water yard setback. New and existing recreational dwellings along Stoney Lake range in architectural time period and style from traditional to contemporary and contain a mix of sloped and flat roof types. Further, and as is the case for the Subject Site, recreational dwellings typically appear as partially screened on lots when viewed from the Lake by trees and vegetation. For the Proposed Development this means that the 21cm proposed increase in height beyond what the zoning would allow would be imperceptible when viewed from the water at distance.

The Subject Site also contains no archaeological resources and the Proposed Development is a permitted land use on the property under the County OP and Township Zoning By-law. For these reasons, the Subject Site is an appropriate location for new development. The Proposed Development has been well-designed to contribute positively to the architectural vernacular of the Stoney Lake shoreline’s sense of place and where possible will seek to enhance the naturally vegetated shoreline through compensatory planting.

In our opinion, and for the foregoing reasons, the Proposed Development has regard for matters of provincial interest under Section 2 of the Planning Act.

5.2 Provincial Planning Statement

The Provincial Planning Statement, 2024 (“PPS”) came into effect October 20, 2024, and is meant to provide direction on matters of Provincial interest related to land use planning and development. The document, through the Planning Act, directs the decisions affecting planning matters which must be consistent with the PPS.

Policy Section 2.6.1 and 2.6.3 sets out the Provincial policies for rural lands including:

“1. On rural lands located in municipalities, permitted uses are:

a) the management or use of resources;

b) resource-based recreational uses (including recreational dwellings not intended as permanent residences);...

c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage and water services;...

g) other rural land uses....

2.6.3. Development shall be appropriate to the infrastructure which is planned or available, and avoid the need for the uneconomical expansion of this infrastructure.”

The Proposed Development provides for the redevelopment of a new recreational dwelling where it is a permitted land use by the foregoing policies of the PPS, the County OP and Township’s Zoning By-law. The Proposed Development will be serviced by an on-site septic system. The Proposed Development is appropriate in this context and will not require the expansion of municipal infrastructure.

Policy Section 3.6.4 sets out the following with respect to private on-site sewage systems;

“4. Where municipal sewage services and municipal water services or private communal sewage services and private communal water services are not available, planned or feasible, individual onsite sewage services and individual on-site water services may be used provided that site conditions are suitable for the long-term provision of such services with no negative impacts.”

The septic tank is proposed in a location where it is outside of both the ORCA floodplain elevation and the 30-metre water yard setback. This is a suitable location for the septic tank and consistent with the foregoing policy.

Policy Sections 4.1.1, 4.1.2 and 4.1.6, 4.1.7 and 4.1.8 provide the PPS’s policies for natural heritage as follows:

“1. Natural features and areas shall be protected for the long term.

2. The diversity and connectivity of natural features in an area, and the long-term ecological function and biodiversity of natural heritage systems, should be maintained, restored or, where possible, improved, recognizing linkages between and among natural heritage features and areas, surface water features and ground water features.

6. Development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.

7. Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

8. Development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.”

The Proposed Development is supported by a comprehensive EIS prepared by Oakridge Environmental. The EIS provides that there will be no expected negative environmental impacts on natural features as a result of the Proposed Development and also outlines a series of on-site mitigation measures as conditions for new development.

Further, the Proposed Development will provide compensatory tree or shrub planting for all trees proposed to be removed and there are several recommended mitigation measures during construction to maintain, or where possible improve, the Proposed Development’s relationship with the natural environment (these measures are outlined in Section 12.0 of the EIS). The EIS also did not identify any species at risk on the Subject Site, neighbouring lands or within the surrounding waterbody. All species observed were common or secure species.

For the foregoing reasons, the Proposed Development is consistent with the PPS’s Natural Heritage policies and will not result in any unmitigable negative environmental impacts as outlined in the EIS.

Policy Section 4.6.2 sets out the following with respect to cultural heritage and archaeology:

“2. Planning authorities shall not permit development and site alteration on lands containing archaeological resources or areas of archaeological potential unless the significant archaeological resources have been conserved.”

A Stage 1 and Stage 2 Archaeological Assessment Report was prepared by Northeastern Archeological Associates Ltd. Northeastern’s assessment did not result in the discovery of any archaeological resources on the Subject Site. The Proposed Development will not have any impact on archaeological resources as none were discovered and is therefore consistent with Policy 4.6.2.

Policy Section 5.2.2 sets out the following with respect to flooding hazards:

“2. Development shall generally be directed to areas outside of:

a) hazardous lands adjacent to the shorelines of the Great Lakes - St. Lawrence River System and large inland lakes which are impacted by flooding hazards, erosion hazards and/or dynamic beach hazards;

b) hazardous lands adjacent to river, stream and small inland lake systems which are impacted by flooding hazards and/or erosion hazards; and

c) hazardous sites.”

The proposed new recreational dwelling and associated landscaped terrace seating areas are located fully outside of the 235.51-metre ORCA floodplain hazard elevation. The proposed septic tank is also located fully outside of the ORCA floodplain elevation. The Proposed Development is therefore located appropriately on-site where it is not expected to be susceptible to flooding hazards.

In summary, and in our opinion, the Proposed Development is consistent with the foregoing policies of the PPS.

5.3 County of Peterborough Official Plan

The June 2025 Office Consolidation of the County of Peterborough Official Plan is the in-force Official Plan for the Subject Site. The Subject Site is located within the Lakeshore Residential (LSR) land use designation of the County OP (**Figure 28**). An Official Plan Amendment is required to Chapter 4.4.3 and the Township of Douro-Dummer Local Component relative to Chapter 6.2.6 to permit a new recreational dwelling within the 30-metre water yard setback.

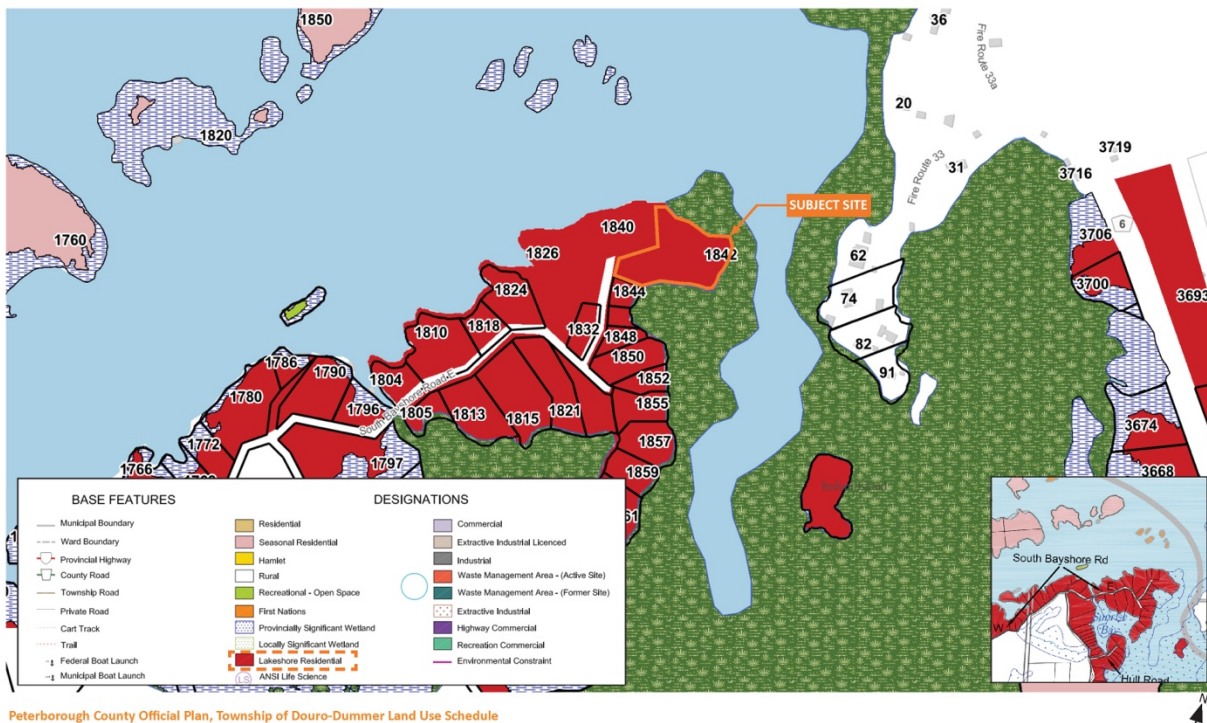


Figure 28: County of Peterborough Official Plan Land Use Schedule.

Policy Section 4.4.1 sets out the following goal for waterfront areas:

“to improve and protect the waterfront areas in Peterborough County as a significant cultural, recreational, economic and natural environment resource and enhance land areas adjacent to the shore.”

Policy Section 4.4.2 goes on to provide a series of policy objectives for waterfront areas. Further, Policy 4.4.3 sets out the following, among other policies which have been reviewed but not excerpted:

“The character of Shoreland Areas is linked to the natural and built form associated with the lakes and rivers in the County. For the most part, the natural form includes vegetated shorelines with thin soils over bedrock. The built form includes predominantly residential development interspersed with some commercial developments including resorts and marinas. The Shoreland Areas are generally associated with leisure, recreation, water supply, support for fisheries and wildlife habitat. As such, development occurring in the Shoreland Areas should enhance and protect, where possible, those qualities that contribute to the area’s character.”...

Notwithstanding any other policy of Section 4.4.3, local plans and zoning by-laws will require that all new development and leaching beds be set back at least 30 metres from the ordinary high water marks of all waterbodies. Excepted from this requirement are marina facilities, 4-32 Official Plan County of Peterborough docks and other water access facilities, pumphouses, and minor accessory buildings and structures as defined in zoning by-laws;”

The Proposed Development, and in particular the proposed OPA, implements, and responds to, the overall intent of Policy Sections 4.4.2 and 4.4.3 of the County OP as follows:

- The Proposed Development is for a new recreational dwelling which is a permitted use within the Lakeshore Residential land use designation;
- The Proposed Development will be located fully outside of the ORCA floodplain elevation;
- The Proposed Development is supported by an EIS which sets out detailed conditions and mitigation measures and also does not identify any adverse impacts with the overall footprint or water yard setback pattern proposed;
- Where possible the mitigation measures proposed seek to protect and enhance the Stoney Lake shoreline, for example compensatory tree planting at a rate greater than the number of trees proposed to be removed and on-site erosion and sediment control during and after construction; and,
- The Proposed Development locates the septic tank appropriately on the property where it is outside of the 30-metre water yard setback.

Policy Section 4.4.3 also sets out that local municipalities may authorize minor variances for development within the 30-metre water yard setback under the following circumstances:

“Local municipalities may authorize minor variances from the 30 metre setback requirement, without the variance being considered to be inconsistent with the general intent and purpose of the local plan, in the following situations:

- *on a lot existing on the date this Official Plan Amendment No. 3 comes into effect;*
- *the addition to an existing building.”*

An OPA was required as part of the Pre-application meeting consultation process as the Proposed Development was not being constructed on a similar foundation footprint to the existing building. That being said, the foregoing policy demonstrates that, where it can be supported, the 30-metre water yard setback standard may not always be the appropriate setback standard to apply universally in the Lakeshore Residential land use designation (this standard also does not recognize the Subject Site's unique dimensions). Similar to the Subject Site, there are other examples of older lots along the Stoney Lake shoreline where the majority of the lot is within the 30-metre water yard setback and cottages co-exist with the landscape.

The Subject Site existed prior to OPA No. 3 coming into effect and has irregular 'peninsula-like' dimensions where over 90% of the property falls within the 30-metre water yard setback. In our opinion, and given the County OP already recognizes similar situations where the 30-metre water yard setback may not be the most appropriate standard, the proposed OPA is consistent with, and implements, the overall intent of the County OP waterfront areas policies in that it will permit new recreational dwelling development on a site-specific basis which it can be supported by detailed conditions outlined in an EIS.

Policy Chapter 6.2.6 sets out the policy objectives for the Lakeshore Residential land use designation and the following general principles:

"6.2.6.1 - General Principles

Permanent single-detached dwellings and cottages in shoreline areas along publicly maintained roads are the predominant use of land within the Lakeshore Residential designation. However in the Township of Douro-Dummer, permanent single-detached dwellings and seasonal cottages may also be permitted on private roads and deeded right-of-ways subject to the provisions of the Township's Zoning By-Law. This designation provides for the conversion of seasonal cottages to permanent dwellings by amendment to the Zoning By-law, where necessary. For the purposes of this plan, the terms "cottage" and "seasonal residence" are used interchangeably"

Policy Section 6.2.6.2 sets out *"The predominant use of land within the Lakeshore Residential designation shall be for permanent single-detached dwellings and seasonal cottages on public roads."*

The Proposed Development is for a new recreational dwelling in the Township of Duoro-Dummer which is consistent with the foregoing general principles (Section 6.2.6.1) and is a permitted use in the land use designation (Section 6.2.6.3).

Policy 6.2.6.3 sets out the development policies within the Lakeshore Residential land use designation which are analyzed below:

a) The intent of this category is to make provision for permanent single detached dwellings and seasonal cottages based on public road access. This designation also provides policies to guide the conversion of seasonal cottages to permanent dwellings by amendment to the Zoning By-law, where necessary.

The Proposed Development provides for the development of a new seasonal cottage dwelling with private road access which is a permitted land use within the Lakeshore Residential land use designation and within the Local Component of the County OP for the Township of Duoro-Dummer.

b) The Township shall have regard to the following when considering an amendment to the Zoning By-law to permit a conversion:

i) The lot shall be adequately served by a year-round publicly-maintained road. No conversions shall be permitted on private roads unless otherwise permitted in this plan.

ii) The lot shall have adequate frontage and area as set out in the implementing Zoning By-law.

iii) The cottage has an adequate source of potable water supply whose year round use will not impair the supply of other nearby buildings and land uses and will satisfy the requirements of the Health Unit and/or the Ministry of the Environment.

iv) The cottage is suitable for conversion and can be brought up to the standard of the Ontario Building Code for a permanent home.

v) The cottage has a sanitary sewage disposal system suitable for year round operation and will satisfy the requirements of the Health Unit and/or the Ministry of the Environment.

vi) The conversion will not contribute singly or with associated uses to a demand for services which are not feasible or economic to provide and will place a financial burden on the Township. vii) The use of holding tanks shall be discouraged.

viii) The township shall review reports from those agencies deemed appropriate and shall include the Building Inspector, Roads Engineer and School Board.

ix) The cottage shall not be located in a flood hazard area as determined by the Conservation Authority or appropriate agencies in consultation with the Township.

The foregoing policies are not applicable as conversion to a year round home is not proposed.

c) General

The preservation of naturally-vegetated shoreline is encouraged in order to minimize destruction to the shoreline and wetbeach habitat, minimize visual impact on the waterbody, maintain wildlife habitats and corridors and improve water quality. In this regard, structures permitted in the Lakeshore Residential designation, including leaching beds of septic systems, on lots created by consent or plan of subdivision after the date Official Plan Amendment No.3 comes into effect, shall be set back a minimum of 30 metres from the shoreline of any lake or major watercourse (i.e. Trent River, Eels Creek, Otonabee River, Rice Lake, Crowe River, Indian River, White Lake) in order to ensure adequate protection from changes in water level and flooding and to ensure maintenance of water quality and the protection of fish and wildlife habitats. Applications to create lots within the Lakeshore Residential designation, either by consent or plan of subdivision, shall demonstrate that this 30 metre setback requirement can be met on the proposed lot(s).

The Proposed Development, and specifically the proposed OPA, responds appropriately to, and implements, the overall intent of the foregoing policies by providing no adverse environmental impact on the Stoney Lake shoreline, surrounding natural areas, or within the water yard setback area. The Proposed

Development is supported by conditions of an accompanying EIS which reinforce and enhance a naturally vegetated shoreline through measures such as compensatory tree planting at a 5:1 ratio and erosion and sediment condition measures during construction. The proposed water yard setback condition will be increased along the east and south water yards compared to the existing dwelling.

Further, the proposed ZBA with respect to increased height of 0.21 metres conforms to the foregoing policies to minimize visual impact on the surrounding water body through a sloped roof condition which will be partially screened by existing and proposed trees and other on-site vegetation.

The Proposed septic tank is also located outside of the 30-metre water yard setback area which conforms to the foregoing policy.

Permitted Exceptions

Notwithstanding anything in this section to the contrary, structures such as pump houses, boat houses, docks, open decks and stairs shall be a permitted use and may encroach into the 30 metre setback without a minor variance provided that the property owner can demonstrate to the Township's satisfaction and, if appropriate, the authority having jurisdiction over the waterway, that it does not negatively affect the waterfront environment. If addressed in the Zoning By-law, applicable standards must be met (i.e. deck width, area, etc.).

Structures legally existing as of the date Official Plan Amendment No.3 comes into effect (October 22, 2008) that do not comply with the required water setback provision that require replacement due to structural defects or destruction by fire or other natural causes or by permission of the Township will be permitted to be replaced on the same footprint and may only be enlarged in accordance with the provisions of the Zoning By-law, and where the enlargement does not further encroach into the 30 metre water setback.

Sewage system leaching beds requiring replacement due to structural damage or malfunction should be set back a minimum of 30 metres from the high water mark if possible or to the greatest setback that is achievable to the satisfaction of the Peterborough County-City Health Unit. Due to their importance to ensuring public health and/or safety, a minor variance will not be required in the case where the replacement leaching beds must be located within the 30 metre water setback.

The foregoing policies are not applicable to the Proposed Development as a new replacement recreational dwelling is proposed. That being said, the proposed recreational dwelling will be setback further on the east and south water yards than the existing dwelling and the proposed septic tank will be located outside of the 30-metre water yard setback. The Proposed Development will also be outside of the ORCA floodplain elevation.

Vacant Lots of Record as of the date Official Plan Amendment No.3 comes into Effect (October 22, 2008)

Vacant lots of record shall attempt to have structures and septic systems set back a minimum of 30 metres from the high water mark. Where it is not possible to achieve the 30 metre setback, then new buildings and structures shall be set back as far as possible

from the high water mark. In this regard, a Minor Variance or Zoning Bylaw Amendment for a reduced setback for existing vacant lots of record may be permitted provided that the relief sought:

- maintains the intent of the zoning by-law;*
- is minor in nature;*
- maintains the intent of the Official Plan regarding environmental objectives; and*
- is desirable and appropriate for the area.*

The foregoing policies are not applicable as the Proposed Development is not located on a vacant lot of record.

Existing Structures

Minor variances or zoning changes to accommodate proposed expansions of a structurally-permanent nature to existing structures and/or septic systems that further reduce any applicable minimum water setback shall not be permitted unless it is a matter of public health and/or safety.

The foregoing policies are not applicable as the proposed septic tank will be located outside of the 30-metre water yard setback.

d) Any lot proposed for Lakeshore Residential development must be served by a year-round publicly maintained road. However, in the Township of Douro-Dummer, permanent single-detached dwellings and seasonal cottages may also be permitted on private roads and deeded right-of-ways subject to the provisions of the Township's Zoning By-Law.

e) Development based on a registered plan of subdivision or condominium shall be encouraged in accordance with the policies in Section 7.13. A limited number of cottage or single-detached residential lots created by consent may be permitted in accordance with the policies in Section 7.12.

f) Consents for new residences and cottages shall meet the requirements of the implementing Zoning By-law and the Health Unit. New lots shall be well-proportioned and of regular shape and dimension. Long, narrow lots shall not be permitted.

g) Lots for new development shall have sufficient area so that a private well for water supply can be located without danger of contamination by the sewage system and so that a drawdown of groundwater levels beyond the boundaries of the lot itself can be avoided. A hydrogeological report and soils analysis may be required.

The foregoing policies are not applicable as no new lot is proposed.

h) Lakeshore Residential areas shall be zoned in part for permanent use and in part for seasonal use. All new dwellings and cottages shall conform to the minimum standards of the Ontario Building Code.

i) Certain areas designated in a Lakeshore Residential category may be zoned in a special rural or holding category until required for their ultimate development. In considering an application to change the zoning category in a Lakeshore Residential category, the Township shall have regard to the criteria set out in Section 7.9 of this Plan.

j) Lakeshore Residential areas will be developed in groupings in order to avoid, where possible, ribbon development. Such groupings shall be designed to improve accessibility to the lake and water-oriented activities for a greater number of lakeshore users and tourists by providing desirable open space areas. Approval of the appropriate jurisdiction shall be required for any in water works such as dredging or common mooring facilities associated with lakeshore development and may require an environmental impact study.

k) The Township may require the submission of environmental impact studies in support of applications for approval of multi-lot residential development projects as per section 4.1.3.1. The Township may require the submission of preliminary landscape plans to support approvals of draft plans of subdivision or condominium.

The foregoing policies are not applicable as no new lots or changes to the land use permissions are proposed.

l) Commercial land uses in the Lakeshore Residential designation shall have regard to the following policies:

i) Commercial uses shall be encouraged to locate in groups and preferably where adequate access to a Township owned and maintained road is assured.

ii) Commercial uses shall be sited to minimize their effect on adjacent residential uses. iii) The buildings containing commercial uses shall be designed and any lighting or signs arranged to blend in with the character of the adjacent residential uses.

iv) The implementing Zoning By-law shall contain provisions and regulations for commercial uses permitted in Lakeshore Residential areas.

v) Lots shall have sufficient area so that a private well for water supply can be located without danger of contamination by the sewage system, and so that a serious drawdown of groundwater levels beyond the boundaries of the lot itself can be avoided. Where considered appropriate by the Township, a certificate shall be required to be provided by a suitably qualified professional engineer to indicate that sufficient groundwater supplies are available in the area to meet the needs of the proposed development and that suitable conditions exist for the disposal of domestic wastes.

m) The Township may undertake or request more detailed studies to assess the capacity of a lake or waterway system to support cottage development and water-oriented activities. Where appropriate, the results and recommendations of those studies shall be included in this Plan by a future amendment. The Township also encourages the creation of Lake Plans as per Section 7.29.

The foregoing policies are not applicable as no commercial development is proposed.

n) In the Township of Douro-Dummer, new residential dwelling area development shall be permitted on private roads provided: i) the length of the existing private road is not extended; and, ii) new development shall take place in the form of infilling between existing lots of record, subject to the provisions of the zoning by-law.

The foregoing policy is not applicable as no extension to private roads are required to accommodate the Proposed Development.

In our opinion, the Proposed Development of a new recreational dwelling of a height of 9.21 metres within the 30-metre water yard setback is supported by a series of enhancement and mitigation measures outlined in the accompanying EIS and conforms to or implements the relevant policies of the County OP when read as a whole. An OPA is required, which, in our opinion implements the County OP's policies for Shoreland Areas and the Lakeshore Residential Zone, as through this application, and in particular the EIS, it has been demonstrated that no negative environmental impacts will arise from the development of a new dwelling, and where possible, existing conditions on the Subject Site will be environmentally improved.

5.4 Zoning By-law

The Subject Site is currently zoned **Limited Service Residential (LSR)** under the Township's Zoning By-law 10-1996 (**Figure 29**). A single detached recreational dwelling is a permitted use in the LSR Zone subject to the regulations outlined in Section 7.2.1 (which are outlined in detail on the enclosed architectural plans). As detailed in Section 4.0 of this report, a Zoning By-law Amendment is required to create a new site-specific Special District (S. D.) Zone to permit a new replacement detached recreational dwelling with a minimum water yard setback of 11.81 metres (7.2.1 h)) and a maximum height of 9.21 metres (7.2.1 l)).

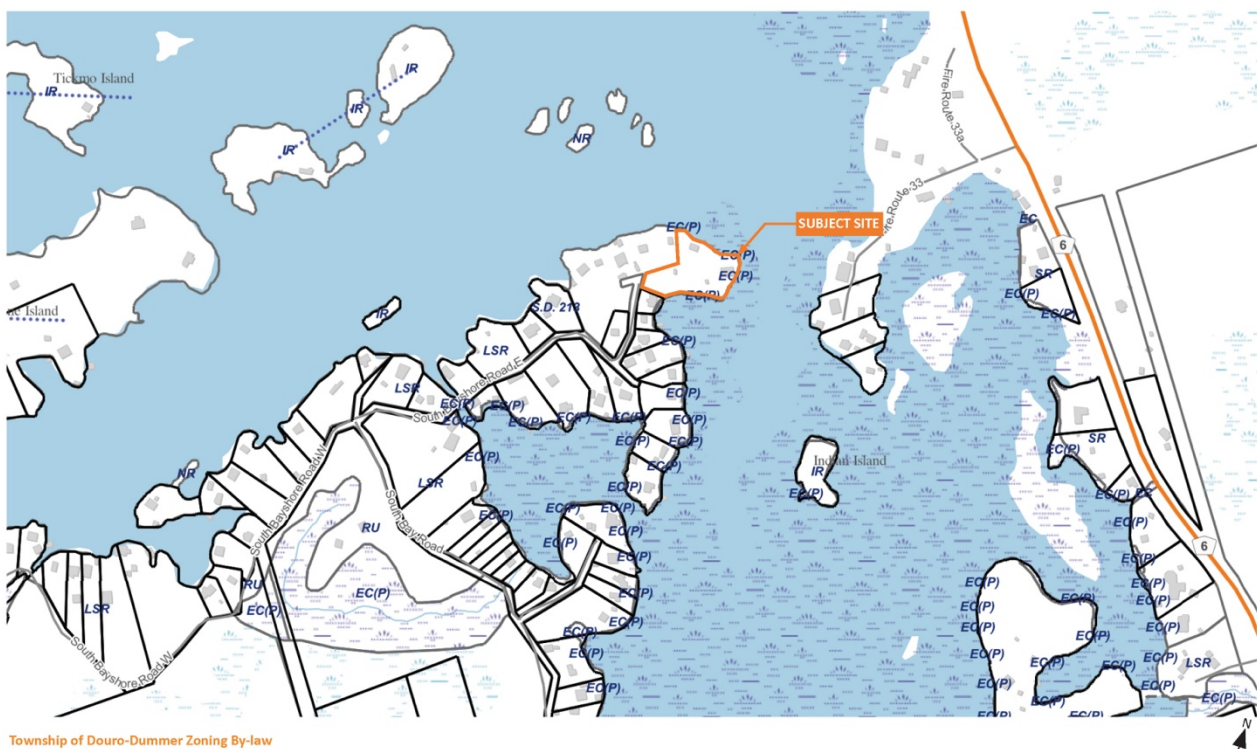


Figure 29: Township of Douro-Dummer Zoning By-law Map.

6.0 Supporting Studies

6.1 Environmental Impact Study

Oakridge Environmental have been retained to prepare an EIS relative to the proposed demolition of the existing cottage and the development of a new cottage. The EIS provides a detailed overview of the Subject Site, existing and surrounding natural features, species at risk screening and a review of Ministry mapping of the nearby Hull South Bay Provincially Significant Wetland feature. Further the report identifies potentially three to four tree removals along with detailed environmental mitigation recommendations to support redevelopment of the property as shown on the architectural plans. Based on Oakridge's review of the site conditions and architectural plans it is their opinion that redevelopment of the Subject Site is supportable from an environmental standpoint provided the recommendations outlined in the EIS are adhered to. It is Oakridge's opinion that the recommendations contained in their report would mitigate any potential impacts on Stoney Lake.

6.2 Archaeological Assessment

Northeastern Archaeological Associates Limited have been retained to prepare a Stage 1 and Stage 2 Archaeological Assessment for the Proposed Development. The Archaeological Assessment covered the entire property and was conducted in compliance with the requirements outlined by the Ministry of Citizenship and Multiculturalism. The Archaeological Assessment did not result in the discovery of any archaeological resources. Given this result, it was in the opinion of Northeastern that no further assessment be conducted. If any archaeological resources should be discovered during the course of development, all excavation must stop immediately, and a licensed archaeologist must be contacted.

6.3 Lot Grading and Drainage Plan

SitePlanTech were retained as engineering consultants to prepare a lot grading and drainage plan. The plan demonstrates the finished floor elevation of the proposed recreational dwelling and associated slopes and spot elevations within the proposed gravel driveway area and between the Proposed Development and the shoreline. The plan also indicates erosion and sediment control measures for consideration at the construction stage along with a vehicle cleaning area detail at the entrance to the property to ensure appropriate water quality of any runoff entering Stoney Lake.

7.0 Summary

The Proposed Development represents an appropriate scale of redevelopment on an irregularly shaped waterfront property which has existed for many years. The Proposed Development is also located outside of the ORCA floodplain and is in a location on the property where it does not introduce any environmental impacts between itself and the shoreline or any unintended visual impacts on surrounding properties. Considerable effort has been made by the project architect, Jason Cutajar, to balance siting the new

dwelling with other site constraints, including the septic tank (proposed outside of the 30-metre water yard setback in a by-law compliant location), minimization of tree removals and a location where redevelopment does not impact the lot's pre-existing topography, landscaped character or drainage patterns.

Specifically, the Proposed Development:

- Is appropriately scaled and configured to fit within the existing and planned context of recreational dwellings on landscaped lots partially screened by vegetation, where the proposed reduced water yard setback and slightly increased height fit well within the Stoney Lake vernacular;
- Has regard for the purpose of the Planning Act and matters of Provincial Interest;
- Is consistent with the policies of the Provincial Planning Statement, 2024;
- Is a permitted land use within the County OP's Lakeshore Residential land use designation and is permitted under the Township's Lakeshore Residential zone;
- Conforms to or implements the overall intent of the policy direction of the County OP in respect of the 30-metre minimum water yard setback standard;
- Is located fully outside of the ORCA floodplain;
- Locates the septic tank in an appropriate location on the property where it does not impede within the 30-metre water yard setback standard for environmental reasons;
- Will not introduce any unmitigable environmental impacts on the property, the shoreline, or adjacent properties according to the Environmental Impact Study (EIS) prepared by Oakridge Environmental and provided the conditions recommended by Oakridge are met;
- Seeks to enhance the naturally vegetated shoreline through compensatory tree or shrub planting at a 5:1 rate;
- Will have no impacts on archaeological resources as the Archaeological Study prepared by Northeastern Archaeological concluded there are no archaeological resources on the property; and,
- Will maintain an appropriate lot grading and drainage pattern as detailed on the enclosed lot grading and drainage plan prepared by SitePlanTech.

For the above-noted reasons, the Proposed Development represents good planning, warrants the support of County and Township Planning Staff, and merits approval by County and Township Councils.

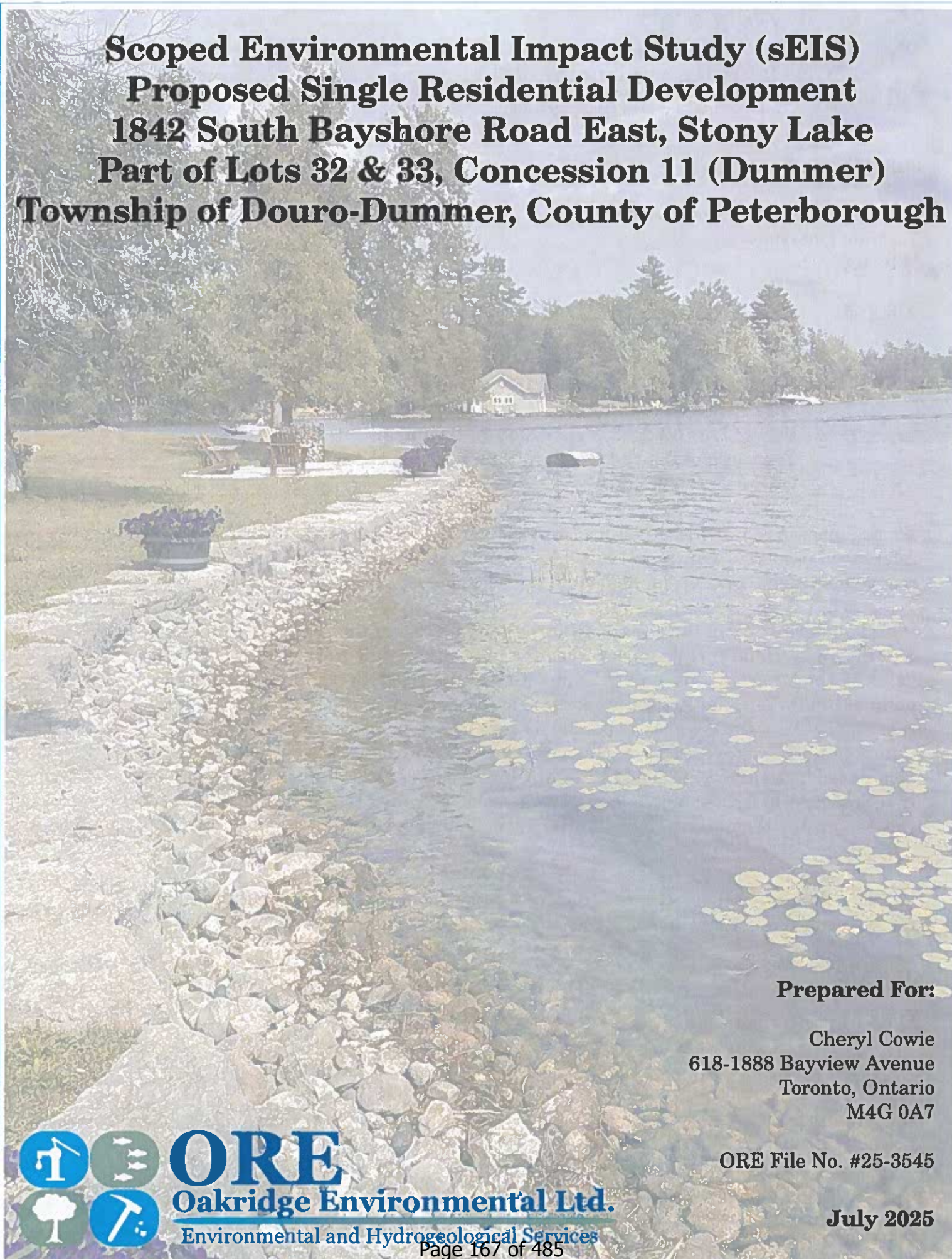
WND associates

planning + urban design



Kevin McKrow, MCIP, RPP
Senior Planner

**Scoped Environmental Impact Study (sEIS)
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
Part of Lots 32 & 33, Concession 11 (Dummer)
Township of Douro-Dummer, County of Peterborough**



Prepared For:

Cheryl Cowie
618-1888 Bayview Avenue
Toronto, Ontario
M4G 0A7

ORE File No. #25-3545

July 2025



ORE

Oakridge Environmental Ltd.

Environmental and Hydrogeological Services



ORE



Oakridge Environmental Limited

Environmental and Hydrogeological Services

July 24th, 2025

618-1888 Bayview Avenue
Toronto, Ontario
M4G 0A7

Attention: **Cheryl Cowie**

Re: *Scoped Environmental Impact Study (sEIS)*
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
Part of Lots 32 & 33, Concession 11 (Dummer)
Township of Douro-Dummer, County of Peterborough
ORE File No. 25-3545

We are pleased to provide this *scoped* Environmental Impact Study (sEIS) for the above-referenced property. Our report has been completed in support of your application to redevelop a single residential home and detached garage.

Based on our review of the site conditions, Stony Lake and the Hull South Bay Provincially Significant Wetland (PSW) appear to be the main environmental receptors. However, it is believed the Ministry took a more “blanket-type” approach to mapping this feature around the point of land where the subject property is located. From our observations, it is our opinion that the Hull South Bay PSW is patchy feature in the vicinity of the subject property, rather than a uniform feature as currently mapped within the databases. The bedrock ridge dominated bottom and hardened shoreline limits aquatic wetland species only to certain areas that do not include the subject property. As such, provided the recommendations outlined in this report are adhered to, any potential adverse impacts to Stony Lake or the PSW should be mitigated.

We trust that this report will be sufficient for any agency reviews. Should you have any questions or require clarification, please do not hesitate to contact our office.

Yours truly,

Oakridge Environmental Ltd.

Rob West, HBSoc.
Senior Ecologist

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**Scoped Environmental Impact Study (sEIS)
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
Part of Lots 32 & 33, Concession 11 (Dummer)
Township of Douro-Dummer,
County of Peterborough**

1.0 Introduction

Oakridge Environmental Ltd. is pleased to present this *scoped* Environmental Impact Study (sEIS) in support of an application to develop a single residential home and garage.

The property fronts onto Stony Lake and is surrounded by Provincially Significant Wetland (PSW). As a result, an sEIS is required to support the application and to demonstrate that the development will not result in any impacts to nearby Key Natural Heritage Features (KNHF's).

While this sEIS was determined to be a requirement by the Township, a detailed Terms of Reference (ToR) was not provided. Similar to other applications, it has been assumed that a *scoped* assessment will be acceptable, with a focus on nearby sensitive hydrological features, fish and fish habitat. A high level screening for Species at Risk (SAR) has also been included in this study.

The following sections outline our data sources, methodologies, findings and recommendations.

2.0 Site Location and Description

The subject site is located at the southeast end of Stony Lake at 1842 South Bayshore Road East, within Part of Lots 32 & 33, Concession 11 (Dummer), Township of Douro-Dummer, County of Peterborough. The subject property has an approximate area of 0.9 ha (2.2 acres), as illustrated on Figures 1 and 2.

The property is currently developed with a privately serviced cottage and a log boathouse. The subject property also has some outbuildings such as a sauna, etc. There are existing cottages/residences on the adjacent lands.

3.0 Proposed Development / Site Alteration

The property owner is proposing to demolish the existing cottage and construct a new single residential two-storey cottage with an attached garage, screened porch and terrace. A gravel parking area and driveway are also proposed. The proposed residence will be located in the same vicinity as the existing cottage, however, will have a larger footprint. The Development has been optimally located to remain outside of the Stony Lake floodplain and to minimize the necessary site alteration and vegetation removal.

The reader is referred to the proponent's conceptual site plan (Appendix A).

4.0 Policy

4.1 Township of Douro-Dummer

According to the Pre-Consultation Notes of March 27th, 2025 prepared by the Township of Douro-Dummer, the configuration of the lot does not allow the proposed Development to comply with the water setback. As a result, a Zoning By-law and Official Plan Amendment application is required to allow relief from that requirement. The Township also noted that the proposal is considered "new development", rather than Development given the expansion of the building footprint. The Pre-Consultation Notes also state that the sEIS should be completed to address policy 4.1.8 of the Provincial Planning Statement, and "*primarily to address the Provincially Significant Wetland (PSW) and waterbody adjacent the subject property.*"

An sEIS was identified as a requirement to support the application, due to the proximity of the Development to Stony Lake, to demonstrate that the proposal will not result in any negative impacts on the water, shoreline and aquatic ecosystems.

Prior to commencing, it was recommended that a Terms of Reference for the study be provided to the Township for review to ensure the scope would be satisfactory. It is understood that this task was completed by the proponent. This study has been prepared to meet the requirements of the Township and County.

4.2 Otonabee Region Conservation Authority (ORCA)

According to the Pre-Consultation Notes mentioned above, ORCA has indicated that the proposed development requires the submission of a Lot Grading and Drainage Plan

given the proximity of the proposed dwelling to the floodplain. It is further noted that items considered in their permit review include: grading and re-stabilization of soil adjacent to the floodplain; ensuring no inadvertent expansion of the floodplain occurs; mitigation of soil erosion, and the installation of sediment and erosion fencing prior to commencement of works on the property.

This sEIS includes recommendations related the relevant issues noted by ORCA.

5.0 Scope of Work

The following tasks were completed for this assessment:

- Relevant background information regarding the site (air photos, mapping, etc.) was compiled and reviewed. A high level screening of Species at Risk (SAR) databases was also completed.
- One (1) site inspection was completed by ORE's Senior Ecologist. The inspection focussed on the proposed development envelope and nearby sensitive features, including the shoreline of Stony Lake.
- Terrain mapping of the site included an assessment of vegetation communities, habitat surficial soils, springs, recharge zones, (etc.), and confirmation of the presence or absence of wetland/drainage features. Any incidental observations of wildlife were recorded. All features were delineated and mapped. ORE staff also reviewed the shoreline and littoral zone conditions to determine whether it is suitable fish habitat.
- The proposed development footprint was superimposed on a geo-referenced air photo base plan. This information was used to determine any areas of potential concern (i.e., constraints) on the subject site.
- Upon completing the preceding tasks, the data were analysed and interpreted and this report was prepared.

6.0 Topography and Drainage

As illustrated by Figure 2, the subject site is situated on the east-facing slope of a small peninsula-ridge near the eastern end of Stony Lake, with a total relief of <5 m. As the slope does not appear to be associated with a specific overburden landform, it may be structurally controlled by the underlying bedrock surface.

There are no wetlands or channelized watercourses mapped within or immediately adjacent to the site, other than the lake. However, according to the published mapping, the site's entire shoreline is surrounded by the Hull South Bay Provincially Significant Wetland, a lacustrine wetland feature.

The site's proximity to Stony Lake and low relief suggests the presence of a shallow water table condition.

7.0 Geological Setting

The subject site occurs near the southern edge of the Precambrian Shield, immediately north of the Paleozoic limestone terrain. As such, the topography is dominated by the bedrock structure.

As illustrated by Figure 3, the subject site is completely underlain by glaciofluvial deposits. In general, these are highly permeable and layered sandy soils.

To the southwest, deposits of stony, carbonate-rich silt and sand till occur. This till is part of the Dummer Complex. Dummer Complex sediments have a sandy matrix supporting a coarse stony component. The coarse component is typically composed of large and angular (broken) blocks of Paleozoic bedrock limestone. The stone composition primarily reflects the underlying bedrock lithology, although can contain some granitic materials. The Dummer Complex exhibits scattered, pitted hummocks of blocky, angular debris extending as a broad belt from Lake Simcoe to northeast of Kingston.

Figure 3 also indicates that there is an area of stone-poor till that occurs south of the site. This is an occurrence of the Newmarket Till, which is extensive further south where it is commonly drumlinized. The Newmarket Till is widely recognized as a regional aquitard.

While both tills have similar compositions, the Newmarket Till is more commonly a very dense and low-permeability substrate in comparison to till of the Dummer

Complex. However, the upper part of the Newmarket Till can exhibit enhanced permeability due to weathering and fissuring. The Newmarket Till may underlie the Dummer Till in some areas.

The mapping also indicates the presence of an extensive area underlain by Paleozoic limestone with minimal soil cover and Precambrian bedrock, also with limited overburden, referred to as Precambrian bedrock-drift complex. It is likely that this complex occurs below the dominant glaciofluvial deposits below the subject site.

The thickness of the above soils cannot be determined from the mapping. However, from perusal of Ministry of the Environment, Conservation and Parks (MECP) well record database for the site area, we note that nearby well No. 7278890 encountered 2.1 m of “red sand” above the granite bedrock. That well reportedly had a static water level of 4.6 m (below ground surface, in the bedrock). Other nearby wells penetrated through a similar thickness of sandy soil before encountering the bedrock.

8.0 SAR Database Review

8.1 General

The following databases were reviewed as part of a high level screening to determine the potential for SAR to exist on or within the vicinity of the subject property:

- Natural Heritage Information Centre (NHIC);
- Ontario Breeding Bird Atlas (OBBA);
- eBird;
- iNaturalist;
- Ontario Reptile & Amphibian Atlas (ORAA), and
- Fish ON-Line.

The search radius ranged from 1km² (NHIC) to 10 km² (OBBA), depending on the available database. The results of the search are found in Appendix B.

Based on our review, the following SAR occurrences were noted on, or proximal to, the subject property.

8.2 Natural Heritage Information Centre (NHIC) (17QK3640)

<u>Common Name</u>	<u>Scientific Name</u>	<u>SAR Status</u>
Common Five-lined Skink	<i>Plestiodon fasciatus</i>	Special Concern ¹
Eastern Musk Turtle	<i>Sternotherus odoratus</i>	Special Concern
Eastern Ribbonsnake	<i>Thamnophis sauritus</i>	Special Concern
Eastern Whip-poor-will	<i>Antrostomus vociferus</i>	Special Concern
Eastern Wood-Pewee	<i>Contopus virens</i>	Special Concern
Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Special Concern
Midland Painted Turtle	<i>Chrysemys picta marginata</i>	Special Concern ^{2,3}
Snapping Turtle	<i>Chelydra serpentina</i>	Special Concern

1 Canadian Shield population.

2 Not at Risk (NAR) under Species at Risk Ontario (SARO).

3 Listed as Special Concern by the Committee of Endangered Wildlife in Canada (COSEWIC) and the federal Species at Risk Act Registry (SARA).

One (1) provincially rare species of note (not a SAR but tracked by the ministry) has been recorded in the area:

<u>Common Name</u>	<u>Scientific Name</u>	<u>S-Rank</u>
Prairie Warbler	<i>Setophaga discolor</i>	S2B

In addition, two (2) Wildlife Concentration Areas are recorded in the area:

- Colonial Waterbird Nesting Area, and
- Mixed Wader Nesting Colony.

8.3 Ontario Breeding Bird Atlas (OBBA) (17TQK33 and 17TQK34, Region 16, Peterborough)

<u>Common Name</u>	<u>Scientific Name</u>	<u>SARO Status</u>
Bank Swallow	<i>Riparia riparia</i>	Threatened
Barn Swallow	<i>Hirundo rustica</i>	Special Concern
Black Tern	<i>Chlidonias niger</i>	Special Concern
Bobolink	<i>Dolichonyx oryzivorus</i>	Threatened
Canada Warbler	<i>Cardellina canadensis</i>	Special Concern

Common Nighthawk	<i>Chordeiles minor</i>	Special Concern
Eastern Meadowlark	<i>Sturnella magna</i>	Threatened
Eastern Whip-poor-will	<i>Antrostomus vociferus</i>	Threatened
Eastern Wood-Pewee	<i>Contopus virens</i>	Special Concern
Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Special Concern
Golden-winged Warbler	<i>Vermivora chrysoptera</i>	Special Concern
Least Bittern	<i>Ixobrychus exilis</i>	Threatened
Olive-sided Flycatcher	<i>Contopus cooperi</i>	Special Concern
Wood Thrush	<i>Hylocichla mustelina</i>	Special Concern

8.4 eBird

(Petroglyphs Provincial Park - L384077)

<u>Common Name</u>	<u>Scientific Name</u>	<u>SARO Status</u>
Barn Swallow	<i>Hirundo rustica</i>	Special Concern
Black Tern	<i>Chlidonias niger</i>	Special Concern
Canada Warbler	<i>Cardellina canadensis</i>	Special Concern
Cerulean Warbler	<i>Setophaga cerulea</i>	Threatened
Common Nighthawk	<i>Chordeiles minor</i>	Special Concern
Eastern Whip-poor-will	<i>Antrostomus vociferus</i>	Threatened
Eastern Wood-Pewee	<i>Contopus virens</i>	Special Concern
Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Special Concern
Golden Eagle	<i>Aquila chrysaetos</i>	Endangered
Golden-winged Warbler	<i>Vermivora chrysoptera</i>	Special Concern
Olive-sided Flycatcher	<i>Contopus cooperi</i>	Special Concern
Peregrine Falcon	<i>Falco peregrinus</i>	Special Concern
Rusty Blackbird	<i>Euphagus carolinus</i>	Special Concern
Wood Thrush	<i>Hylocichla mustelina</i>	Special Concern

8.5 iNaturalist

<u>Common Name</u>	<u>Scientific Name</u>	<u>SARO Status</u>
Eastern Musk Turtle	<i>Sternotherus odoratus</i>	Special Concern
Midland Painted Turtle	<i>Chrysemys picta marginata</i>	Special Concern ^{1 2}

¹ Not at Risk (NAR) under Species at Risk Ontario (SARO).

² Listed as Special Concern by the Committee of Endangered Wildlife in Canada (COSEWIC) and the federal Species at Risk Act Registry (SARA).

Rare species were reported as follows:

<u>Common Name</u>	<u>Scientific Name</u>	<u>S-Rank</u>
Cup Plant	<i>Silphium perfoliatum</i>	S2
Dust Lichen	<i>Leproplaca chrysodeta</i>	S2
Lilypad Clubtail	<i>Arigomphus furcifer</i>	S4
Perennial Mason Wasp	<i>Parancistrocerus perennis</i>	S2

8.6 Ontario Reptile & Amphibian Atlas Program (ORRA) (17QL33 and 17QK34)

<u>Common Name</u>	<u>Scientific Names</u>	<u>SARO Status</u>
Blanding's Turtle	<i>Emydoidea blandingii</i>	Threatened
Common Five-lined Skink ¹	<i>Plestiodon fasciatus pop. 2</i>	Special Concern
Eastern Hog-nosed Snake	<i>Heterodon platirhinos</i>	Threatened
Eastern Milksnake	<i>Lampropeltis triangulum</i>	NAR ^{2 3}
Eastern Musk Turtle	<i>Sternotherus odoratus</i>	Special Concern
Midland Painted Turtle	<i>Chrysemys picta marginata</i>	NAR ^{2 3}
Northern Map Turtle	<i>Graptemys geographica</i>	Special Concern
Snapping Turtle	<i>Chelydra serpentina</i>	Special Concern
Western Chorus Frog ⁴	<i>Pseudacris maculata pop. 1</i>	NAR ^{2 5}

1 Southern Shield population.

2 Not at Risk (NAR).

3 Listed as Special Concern by the Committee of Endangered Wildlife in Canada (COSEWIC) and the federal Species at Risk Act Registry (SARA).

4 Canadian Shield population.

5 Listed as Threatened by the Committee of Endangered Wildlife in Canada (COSEWIC) and the federal Species at Risk Act Registry (SARA).

The SAR database excerpts are provided in Appendix B.

8.7 Fish ON-Line (Stony Lake (17-7310-49388))

No SAR fish species were recorded, however, the following common species were noted.

- Black Crappie (*Pomoxis nigromaculatus*)
- Bluegill (*Lepomis macrochirus*)
- Brown Bullhead (*Ameiurus nebulosis*)
- Burbot (*Lota lota*)
- Cisco (*Coregonus sp.*)

Common Carp (*Cyprinus carpio*)
Lake Whitefish (*Coregonus clupeaformis*)
Largemouth Bass (*Micropterus salmoides*)
Muskellunge (*Esox masquinongy*)
Pumpkinseed (*Lepomis gibbosus*)
Rainbow Smelt (*Osmerus mordax*)
Rock Bass (*Ambloplites rupestris*)
Sauger (*Sander canadensis*)
Smallmouth Bass (*Micropterus dolomieu*)
Walleye (*Sander vitreus*)
Yellow Bullhead (*Ameiurus natalis*)
Yellow Perch (*Perca flavescens*)

9.0 Inspection Methodologies

The site has been characterized utilizing the methodologies included in the *Ecological Land Classification (ELC) - First Approximation and Its Applications* (1998) guide. The 1998 guide is used to standardize the classification of different vegetation community types across Ontario. The classification system enables an ecologist to identify vegetation communities based on the species present, soil materials and moisture regimes.

There have been a number of updates to the ELC scheme to further refine the classification of Ecosites throughout Ontario. As a result, the 2008 *Draft ELC* guide provides a further breakdown of the 1998 ELC communities and includes several new communities to index from. The 2008 ELC scheme also provides a cross-reference to the 1998 guide communities. This report uses a combination of the 1998 ELC communities (which are considered the primary vegetation communities) and the 2008 ELC communities.

Prior to conducting the site inspection, aerial photography of the subject site was analysed to roughly delineate communities based on recognizable vegetation differences. Each identified community was subsequently inspected. Dominant vegetation types were recorded and boundaries of the various communities mapped on an air photo or utilizing a dGPS.

In addition to identifying and mapping the vegetation communities, ORE staff assessed each vegetation community from the perspective of whether there are any hydrologically sensitive features on-site. The vegetation survey included examination of the development footprint and immediate surrounding areas.

ORE staff reviewed the littoral zone and offshore lake bottom areas from the shoreline. The water was clear and visible to a depth of 3 m (10 ft). Binoculars were also used to review potential spawning species in the littoral zone depths. Fish species were recorded and areas where spawning occurs were identified utilizing a Global Positioning System (GPS) and base plan air photo imagery.

In addition to the review from the shoreline, a Fish Scout 800 - Vexlar Underwater Viewing system was used to review the lake bottom areas deeper than 3 m. The types of aquatic vegetation and any other types of fish observed at depth were also recorded. Photos of the shoreline and lake bottom in the vicinity of the subject property were also obtained.

10.0 Site Inspection Data

10.1 Site Inspection

ORE staff attended the site on the following date:

<u>Date of Inspection</u>	<u>Temp. °C</u>	<u>Beaufort (Wind) Scale</u>	<u>Conditions Reason for Inspections</u>
June 30 th , 2025	28	3 - Gentle Breeze	Overcast/Humidity. Hot summer afternoon with minimal air movement. The lake exhibited minor ripples from very light air movement. The lake was also very busy with boat traffic off the point and within the narrows between the subject property's shoreline and adjacent neighbouring properties to the east, across the narrows. Observed/ recorded on-site vegetation existing site conditions including structures, identified SAR (if present), vegetation mapping - species list, and wildlife detection. PSW habitat mapping review and confirmation. Recorded evidence of seeps and/or springs, hydrological features, etc., with focus on area of proposed development building site. Review of waterfront and riparian conditions within 30 m of the shoreline interface.

Appendix C contains the list of species identified during our inspection.

10.2 Ecological Land Classification (ELC)

Based on our site observations, we have determined that there are three (3) upland vegetation communities/habitats on-site, and two (2) aquatic/wetland communities associated with Stony Lake and the corresponding PSW.

Figure 4 illustrates the distribution of the on-site vegetation communities and the off-site aquatic communities. These habitats and their associated vegetation and environmental sensitivities are characterized below. Representative photos are provided in Figure 5.

Upland Community:

1. Rural Property (CVR 4)

There is no description in the ELC regarding the Residential-type community.

This community includes the majority of the subject property which has been cleared for the existing cottage, boathouse/storage, outbuildings, and the associated private services. The vegetation in this ELC type consists mainly of lawn areas surrounding the existing buildings. The existing residence is to be removed/demolished and will be replaced by the new dwelling in approximately the same area, although with a larger footprint. No clearing or other new site alterations have been completed at the site in preparation for the development.

There are some relatively mature trees that were retained between the shoreline and the existing access road, around the existing cottage and outbuildings. The majority of the shoreline has been hardened, creating a rip-rap/revetment type shoreline erosion control.

There are some minor shoreline lengths on both the north and south side of the point associated with the two (2) cultural wooded areas that have not been cleared. The mature tree types that remain interspersed within the lawn areas consist of Silver Maple (*Acer saccharinum*), Manitoba Maple (*Acer negundo*), Norway Maple (*Acer platanoides*), White Ash (*Fraxinus americana*), White Pine (*Pinus strobus*), and American Elm (*Ulmus americana*). This community encompasses the area where the development is proposed to occur. ORE staff did not observe any SAR flora or fauna in this community, nor were there any hydrological features within the proposed building envelope (the area is all upland). The shoreline/water interface occurs at the very limit of this community in the development area. The Hull South Bay PSW is associated with the aquatic area and does not expand onto the shoreline/riparian zone on the subject site.

2. Dry - Fresh Black Locust Deciduous Forest Type (FODM4-1)

The ELC guide characterizes the FODM4-1 woodland community as:

- Black Locust dominated stand in the southwest corner of the property is a result of disturbance or woodland management, whereby cultural species dominated and Sugar Maple is absent or less than 10% of subcanopy cover. This is a regrowth area dominated by cultural species in the understory and groundcovers.
- The soils in this type of community possess a moderately dry (0) to fresh (1,2,3) moisture regime and consist of sands and loams, which are well (3) to moderately well (4) drained and typically occur on the upper to middle slopes (2,3,4) or tableland (7) topographic positions.

This cultural dominated community has a woodland appearance. However, the understory possesses species such as Staghorn Sumac (*Rhus typhina*), Common Buckthorn (*Rhamnus cathartica*), and minor amounts of American Elm and White Pine. The groundcovers consist of overgrown weed species including a healthy area of Eastern Poison Ivy (*Toxicodendron radicans*).

No Species at Risk were identified within this cultural woodland area.

None of the proposed development will occur within this woodland community. There are some mature trees within this woodland that occur sporadically throughout the CVR_4 community and were likely present prior to the cultural species invading this area.

3. Fresh - Moist White Cedar Coniferous Thicket Type (THCM2-1)

The ELC describes a Fresh - Moist White Cedar Coniferous Thicket (THCM2-1) as having coniferous shrub species dominate the vegetation in amounts greater than 75%. The THCM2-1 ecosite will be dominated by young Eastern White Cedar (*Thuja occidentalis*) with mineral soil exceeding depths of 30cm.

This community dominates the northerly section of vegetation just west of the boathouse/storage structure. The Eastern White Cedar are relatively young/short shrub height trees overlooking the shoreline and embankment in this area. It also contains a number of cultural species in the understory and groundcovers which is typical of this type of regrowth cedar thicket.

No Species at Risk were detected within this small community.

None of the proposed development will occur within this community and it will remain entirely intact.

Wetland / Aquatic Community:

4. Open Aquatic (OAO)

The ELC (2008) describes OAO as:

- An aquatic environment containing no macrophyte vegetation. This ecosite tends to be dominated by plankton and has a lake trophic status.

This ecosite represents the open water/offshore habitat of Stony Lake, which corresponds to the northeasterly half, southerly and easterly property edges. The western and a portion of the northeasterly edge of the subject property's extent is not bound by Stony Lake. The lake bottom substrate directly along the shoreline associated with the existing development (CVR_4 area) is mostly comprised of rip-rap. Further off-shore of the rip-rap, there are bedrock showings all along the shoreline. Some depressions and crevasses in the bedrock possess fine to medium beach sand material with very little organic matter. The shoreline contains a beach/swimming area on the north side of the existing cottage, which may have been somewhat natural and was expanded upon with sand fill when the existing development was constructed many years ago.

There were fish spawning redds within 10 m of the shoreline in any sandfill crevasse or depression that did not possess cobbles or gravel. ORE staff observed fishing boats casting the shoreline, presumably attempting to catch Smallmouth or Largemouth Bass. ORE staff expect there are also some redd areas in this deeper section of the lake.

ORE staff observed the following fish within the waterway directly off-shore of the subject property that were identified within Fish On-Line database:

- Bluegill (*Lepomis macrochirus*);
- Common Carp (*Cyprinus carpio*);
- Largemouth Bass (*Micropterus salmoides*);
- Pumpkinseed (*Lepomis gibbosus*);
- Rock Bass (*Ambloplites rupestris*);
- Smallmouth Bass (*Micropterus dolomieu*), and
- Yellow Perch (*Perca flavescens*).

No development is to occur/impose within the OAO/lakeshore environment, nor the beach area between the shoreline interface and upland community described above.

5. Water Milfoil Mixed Shallow Aquatic Ecosite and Water Lily – Bullhead Lily Floating-leaved Shallow Aquatic Type (SAM1-7/SAF1-1)

According to the ELC, these two (2) aquatic communities contain water-lily and water milfoil (Pondweeds, Canada Waterweed, etc.) within the shallow aquatic areas directly off-shore. It is these submerged and floating-leaved shallow aquatic species that comprise the Hull South Bay PSW. These species can occur as a continuous mat, consistent with the milfoil mixed aquatics, whereas, the floating-leaved lily species tend to occur as interspersed communities.

The mapped areas where these aquatic species occur off-shore from the subject property are illustrated on Figure 4.

The proposed development will not encroach nor impose upon aquatic/lake habitats as this would be considered off-property. Therefore, this community will remain in an entirely natural state.

10.3 Fauna

No significant fauna were observed directly on-site. Only tracks of common/secure mammals were observed on the subject parcel.

Due to the shoreline area being predominantly comprised of rip-rap materials, there is a high probability that fish are spawning offshore within the littoral zone. However, the littoral zone is expected to be further out based on the very shallow aquatic conditions in the off-shore environment.

Although ORE staff did not observe any turtles in the area of the subject property, there is a potential for turtles to access the site (e.g., via the access road, beach and exposed areas within the existing cultural areas of the property) and to use these areas for nesting purposes. As such, the property owner/contractor should install measures to prevent turtle species from entering the construction area/work zone from the beach (as the remainder of the shoreline is hardened) especially if filling and grading are necessary.

It is assumed that there will be some filling and grading in the area of the proposed residence to raise the footprint of this structure.

No SAR fish nor SAR fauna were observed during our inspection of the lake nor the on-site/local adjacent woodlands. According to our review of the SAR databases, no SAR fish have been identified to occur within Stony Lake.

According to the NHIC database, the site occurs in, or proximal to, two (2) Wildlife Concentration Areas:

- Colonial Waterbird Nesting Area, and
- Mixed Wader Nesting Colony.

The Colonial Waterbird Nesting Area (which is included in the 1 km square NHIC area containing the subject site) presumably pertains to other areas of the Hull South Bay PSW system that are across the east side of South Bay, and possess cattail marsh and/or dead tree swamp type habitats. ORE staff expects the colonial birds are Blue Herons which are likely nesting within the dead trees in the Hull South Bay PSW. There are no marshlands or dead tree swamp habitats that abut the subject property. Stony Lake is a completely open water type habitat directly off-shore of the subject property. As such, the site does not possess any habitats that would be suitable for colonial waterbird species.

As for the Mixed Wader Nesting Colony, this type of wildlife concentration typically hosts various species of long-legged wading birds, including herons, egrets, ibises, and spoonbills, of which none were observed directly on the subject property. Moreover, there are no emergent aquatic vegetation types either on, or directly adjacent to, the subject site that these species would nest within.

These two (2) Wildlife Concentration Areas appear to be associated with the very large marshland area situated east of Indian Island, across the South Bay channel. This habitat is greater than 200 m from the subject site, which is well outside the area of influence for a proposed development.

The fauna species observed on-site are listed within Appendix C for completeness.

10.4 Flora

ORE staff inspected the subject parcel to detect any SAR plant species or wetland areas that would be sensitive to the proposed development.

No SAR species were detected on-site during the site surveys. An aquatic type floating-leaved habitat associated with the Hull South Bay PSW was detected on the south side of the subject property that has been mapped in the LIO database. ORE staff more

accurately depicted the boundary of this feature in the offshore Stony Lake aquatic habitats (none of which occurs directly on the subject property) and it is illustrated on Figure 4.

11.0 Impact Assessment

11.1 General Considerations

Based on our assessment, it is our opinion that potential impacts related to the proposed development of the subject property could include the following:

- 1) Potential impacts from the degradation/alteration of the ground surface and removal of existing mature trees could impact either Stony Lake or the Hull South Bay PSW. The proponent will need to remove vegetation proximal to the waterfront area to increase the size of the proposed dwelling footprint. The lake/Hull South Bay PSW are mapped as occurring around the edge of the entire point where the development is planned to be constructed, such that any erosion and/or sedimentation releases could impact/deteriorate the water quality of these features during construction.
- 2) Potential impacts related to post-construction occupation and stabilizing of the bare or disturbed/altered surficial soils area.
- 3) Potential impacts to nesting turtles in the spring season, as turtle species may enter the site via the beach to the north to nest within the disturbed soils of the construction area.
- 4) Removal of mature trees during the migratory bird/breeding bird period once nesting avian are established.
- 5) Potential to impact water quality in Stony Lake/Hull South Bay PSW which contains fish and fish habitat.
- 6) Potential for SAR fauna to occur in the general area of the development, whether directly on-site, within the adjacent hydrological features or the neighbouring properties. However, the potential for impact is very low considering no SAR were observed on-site during the site inspection.

Further discussion of the above is provided in the following sections.

11.2 Development Envelope

The main concern with respect to the proposed development is the disturbed area relative to the lake/Hull South Bay PSW shoreline (as illustrated on Figure 6). Construction within the development area could result in a relatively large exposed area of bare soils proximal to the lakeshore, as some filling and grading will most likely be necessary.

Notwithstanding, it is expected that the construction zone will not expand significantly beyond the original footprint of the former building towards the lakeshore, other than some tree removal to accommodate the new dwelling. As such, the construction can be mostly confined to those areas that have been historically altered/disturbed, resulting in minimal tree loss for the purpose of constructing the new residence and garage. Runoff is expected to drain radially from the proposed dwelling location towards Stony Lake as localized sheet flows. As such, given the runoff capture area should be very small, the flows should be manageable during the construction and post-construction phase, with respect to the lake.

ORE staff noted that the sporadic shade trees within the existing developed area of the property are mostly large diameter mature trees. It is presumed that the majority of these will be retained, other than those that occur within a few metres of the proposed dwelling. Retaining the existing trees is ideal with respect to soil stability and nutrient/water uptake. Considering the sparsity of mature trees and lack of shrub cover near the lakeshore, nutrients from Canada Geese (*Branta canadensis*) guano in the on-site runoff are likely impacting the water quality of the lake.

Hardening of the shoreline and overall lack of vegetation cover near the shore has undoubtedly contributed to this issue as these conditions make the property more accessible to the geese. Therefore, further tree removal on-site to accommodate a new dwelling could further affect the overall health of the lake in the immediate area of the subject property. Based on these findings, any further tree removal as a result of the Development could worsen conditions with respect to either the lake/lakeshore or the Hull South Bay PSW hydrological features as this would open and expose the lands to more geese, and more concentrated nutrient-rich runoff conditions draining to the lakeshore.

Recommendations are provided below to ensure that the potential for direct and indirect impacts relating to occupation and further use of the proposed Development area are minimized.

12.0 Recommendations

12.1 Development Envelopes and Constraints

- ORE staff did not identify any Species at Risk (SAR) on the subject site, within the waterways, or on neighbouring lands. All the species observed or overheard during the site inspection were common/secure species and not listed within either the SAR pre-screen databases or the SAR Ontario website.

Therefore, it is not necessary to contact the Ministry of Environment, Conservation and Parks (MECP) to determine if there are any Endangered Species Act (ESA) requirements for the Development.

ORE staff did not detect any areas that would constitute either Colonial Waterbird Nesting or Mixed Wader Nesting Colony habitats on-site as per the NHIC database.

Consequently, no recommendations are necessary in regards to either the SAR pre-screen species detected within the databases or two (2) Wildlife Concentration Areas identified within the NHIC database.

- Equipment should not be operated within the floodplain identified by ORCA. Therefore, ORE staff recommend installing light-duty silt fence around the development area as illustrated on Figure 6. We are not identifying any unvaried setback distance from either the lake or the floodplain, as the location of the proposed silt fence is meant to maximize the distance from the lakeshore and limit the Development area from imposing on the floodplain, which is the worse-case constraint. Grading can occur up to the limit of the silt fence, however, not any closer, so as to retain as much of the treed vegetation and distance from the lakeshore floodplain as possible.

The riparian vegetation outside the limit of the silt fence shall not be removed as this would further reduce the buffering capacity at the shoreline, thereby potentially impacting the lake's water quality. Tree removal near, or at the shore also removes canopy cover which can open the spawning area to direct sunlight and sterilize fish spawning areas in the nearshore/littoral zone due to thermal impacts.

The silt fence will prevent the construction crew from unnecessarily increasing the disturbance footprint. The light-duty silt fence should be extended around the entire building envelope perimeter. When the contractor is not working within the construction zone, a length of light-duty silt fence should be installed

along the west edge access swath to close the work area in the evening to ensure turtles cannot migrate from Stony Lake and nest within any exposed soils or sandy fill material areas placed in the building envelope. Although the MNRF recommends the use of heavy-duty silt fencing for turtle exclusion, where the use is short term and temporary to enclose a small area, light duty silt fencing should be sufficient in our opinion, provided the owner or contractor regularly inspects the installation to ensure it is properly functioning as an exclusion fence in addition to its erosion capabilities.

The contractor can open the silt fence at the entrance to the work area to allow access to the building site and continue with the day-to-day construction activities. The light-duty silt fencing will ensure that any loose/unconsolidated materials do not migrate beyond the cordoned construction area, thereby protecting the lake, onshore floodplain areas and Hull South Bay PSW.

- Based on the proposed development footprint, ORE staff expects three (3) to four (4) mature trees may need to be removed on south side of the existing residence. Consequently, ORE recommends the property owner plant a series of native trees and/or shrubs at a 5:1 ratio, such that it landscapes/improves the waterfrontage. ORE staff recommend retaining as many of the mature trees as possible, for cover/shade purposes and to maintain root stabilization directly adjacent to the Development/waterfront area. However, if all of the native trees to the south of the existing residence must to be removed, the site plan should include the planting locations of fifteen (15) to twenty (20) native compensatory trees within the open lawn areas of the subject parcel. The recommended shrub and/or tree plantings specified above should be completed directly after the trees are removed.

The contractor should identify how many trees in this area must be removed and apply the 5:1 compensatory tree ratio. The compensatory trees should be planted either within the floodplain or just outside the floodplain to naturalize the shoreline and enhance/improve the overall waterfront conditions. The property owner would be responsible for maintaining the transplanted trees and reducing transplant shock as instructed by the nursery to increase the probability of the trees thriving.

Considering it may be necessary to remove mature well established trees as a result of the new dwelling, the stock obtained from the nursery should possess a height greater than 2 m and should be obtained from a reputable nursery as opposed to transplanting from the nearby woodland habitats. There are a variety of colourful native trees or shrubs that can be planted. A mix of deciduous and

coniferous is preferred. ORE staff can provide recommendations in this regard.

Certain shrub species can be planted in instead of the trees as they do not grow to tree heights and won't obscure the lake vistas. The shrubs can also be the type that can be trimmed on a yearly basis to maintain a shorter height/stature. The shrubs will enhance the shoreline with respect to erosion-stabilization while improving the nutrient uptake/buffering capacity for runoff generated from the CVR_4 area identified on-site. Alternatively, some of the planted tree species can also be trimmed from the base-up, allowing a view beneath the trees once they achieve a certain height.

- The property owner can provide any compensatory tree planting plan recommendations to their contractor/builder. The trees can be planted by the contractor and a photo(s) of the planted trees can be forwarded to ORE for review. ORE staff can then forward an email to the Township to ensure this requirement has been met.

ORE staff recommend the property owner/contractor consult with the Otonabee Region Conservation Authority's (ORCA) Healthy Shorelines Planting Guide in this regard and work towards improving conditions on-site that are favourable for Stony Lake.

- Provided the authorities are in agreement with the proposal, the development can proceed with no additional disturbed areas occurring on the subject property, other than the selective tree removal to allow for the larger footprint of the proposed dwelling. The property owner will have to work with the existing grades and existing treed shoreline areas between the proposed light-duty silt fence and current water interface.

The landscape type plantings are not meant to obscure the vistas of the lake, but rather improve, protect and beautify the property and the shoreline area. Shorelines that are predominantly devoid of vegetation (i.e., only groundcovers such as grass) tend to contribute more nutrient laden runoff to the lake, resulting in a potential for deterioration of water quality. Considering the lake is used for recreational purposes, any minor improvements would be beneficial. The planting of trees and shrubs along the lakeshore may also reduce the number of Canada Geese accessing the open areas of the subject property from the lakeshore.

- A tire mounted backhoe can be used along the shoreline to dig the holes for compensatory tree stock. The planting of the trees is not considered development and is meant to improve/enhance conditions along the waterfront. The waterfront tree/vegetation cover will improve conditions for littoral zone spawning fish species such as the majority of Centrarchid and shallow aquatic sportfish species (Bass, etc.).
- Invasive/exotic species can also be an issue with respect to recently disturbed sites. They can out-compete other native species. As such, the contractor's machinery should be cleaned according to the provincial protocols to prevent transportation of invasive/exotic species to and from the subject site¹. If the equipment leaves the site, it should be cleaned prior to reentering the property.
- Grass seed and/or sod should also be applied to any exposed/bare soils resulting from site preparation and construction activities once the final grades are achieved, in addition to any shrub/tree plantings within the CVR_4 area that the property owners want to plant for landscaping purposes.
- Passive stormwater management controls should be incorporated into the development design, such as extending roof leaders away from the newly constructed buildings. Roof leaders should discharge to an area where the flows will not gouge or destabilize soils over time. The warm flows from the roof leaders should be infiltrated into the ground, so as to reduce potential thermal impacts to the lake.

ORE expects the soils could be relatively well drained sandy fill materials in the area of the proposed development, therefore, it may be possible to outlet the roof leaders onto the surface. Gravel can also be introduced at the end of the leaders (there are also plastic flow dissipaters that can be purchased at most hardware/landscaping retailers) to create an apron that dissipates the concentrated energy of the roof leader flows, distributing them over a larger area to enhance infiltration.

¹ Clean Equipment Protocol for Industry - Inspecting and cleaning equipment for the purposes of invasive species prevention

12.2 Construction Mitigation

- All recommended erosion controls should be installed prior to commencing any work on the property, to ensure the sensitive hydrological features (lake and Hull South Bay PSW) are not impacted. By implementing these controls at the site, the proposed Development will not impact the fish and fish spawning habitat observed by ORE staff along the lakeshore.
- Construction should not continue during heavy precipitation events. After these events, the recommended silt fence should be checked to ensure its effectiveness.
- Only clean fill should be imported to the site. The fill should not contain organic materials such as plant debris or topsoil that may contain exotic or invasive species that could out-compete native species along the waterfront. If imported topsoil is required, screened topsoil should be the only material applied to top-dress the fill.

Any imported materials that are stockpiled on-site should also be surrounded by light-duty silt fence until the materials are applied. The fence will prevent species such as turtles from leaving the waterways to nest within the loose unconsolidated piled materials during construction.

- We are currently just outside the breeding bird period, but still within the migratory bird period. If trees are to be removed along the waterfront, it would be best to wait until after August 31st to avoid disturbing nesting bird species along the waterfront. The Migratory Bird Period is between April 1st and August 31st and the Migratory Bird Convention Act states that vegetation should not be removed within this period. However, ORE staff inspected the trees to the south of the existing residence and did not observe any tree cavity, grass woven and/or mudnests. Once the vegetation is removed, the work can proceed during this period without any additional restrictions to birds.
- Absolutely no construction equipment should be operated beyond the light-duty silt fence limitation (other than to plant the compensatory trees), nor should equipment grade any new materials beyond the fence, thereby, confining the property owner to work with the existing grades in that area. All equipment must remain within the area designated for construction (as approximated by the light-duty silt fence).

12.3 Closing Remarks

It is our opinion that the applicant should be granted a Building Permit for the purpose of redeveloping the site as per the Site Plan, provided the mitigation measures recommended herein are adhered to. The proponent should recognize that this *scoped* Environmental Impact Study provides recommendations pertaining only to natural environmental issues. Other development related requirements may also need to be addressed with respect to the proposed building application such as the location of private services, etc.

The proponent should obtain all required permits from the agencies prior to commencing any construction on-site. Failure to do so may result in delays and/or other liabilities.

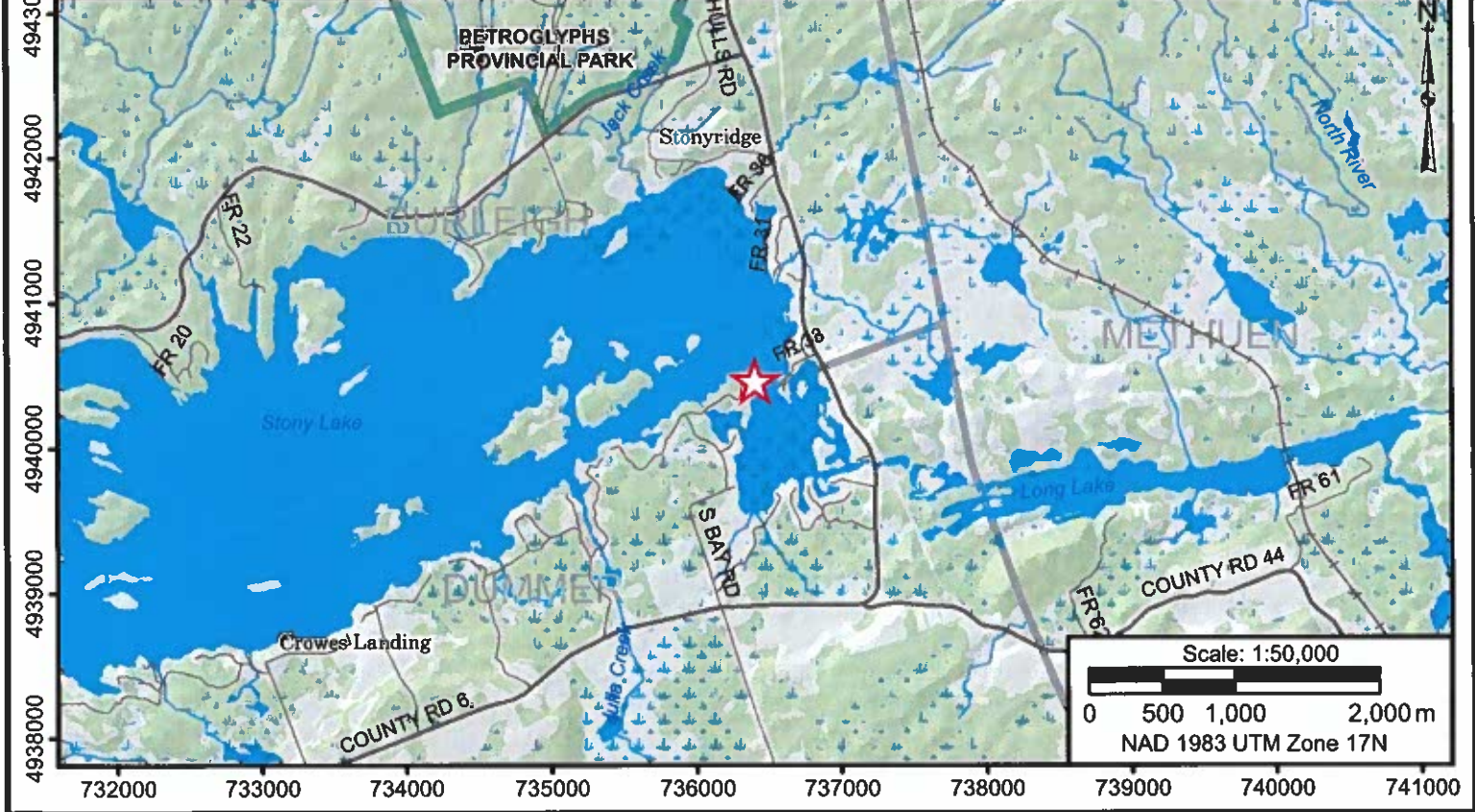
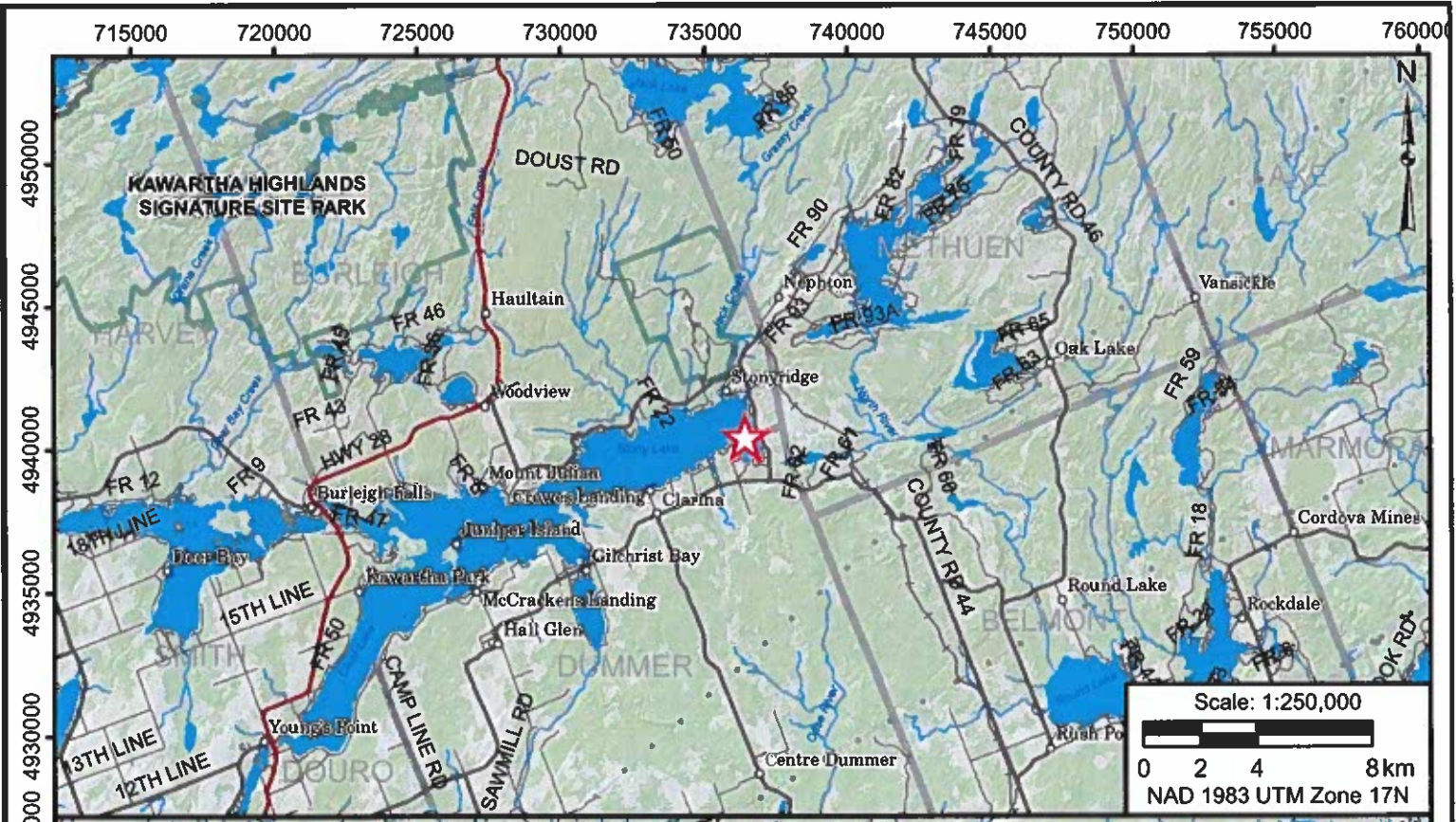
****End of *Scoped* EIS Report****


Yours truly,
Oakridge Environmental Limited




















Rob West, HBSc.
Senior Ecologist

Figures



 Approximate Site Location	Scoped Environmental Impact Study (sEIS) Proposed Single Residential Development 1842 South Bayshore Road East, Stony Lake Part of Lots 32 & 33, Concession 11 (Dummer) Township of Douro-Dummer, County of Peterborough		North American Datum (NAD) 1983	
	General Location		TITLE	
<i>Notes:</i> Base mapping provided by the Ontario Ministry of Natural Resources and Forestry (MNR) Land Information Ontario (LIO) database, copyright the King's Printer (2025) Optimized for Oakridge Environmental Ltd. printing			PROJECT # 25-3545	FIGURE NO. 1
	Environmental and Hydrogeological Services		DATE July 2025	

Scoped Environmental Impact Study (sEIS)
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
 Part of Lots 32 & 33, Concession 11 (Dummer)
 Township of Douro-Dummer, County of Peterborough

-  Approximate Property Boundary
(Peterborough County GIS, 2025)
-  Wetland (Unevaluated)
-  Wetland (Provincially Significant)
-  Osprey Nesting Site
-  White-tailed Deer Wintering Area
(Stratum 2), Overwintering
-  White-tailed Deer Yard
(Stratum 1), Overwintering
-  Waterbody
-  Wooded Area
-  Geographic Lot Fabric
-  Watercourse
-  Watershed Boundary
-  Arterial Road
-  Road
-  Transmission Line
-  Contour (5m Intervals)
-  Building (symbol)
-  Spot Height (m asl)

Scale: 1:10,000



TITLE

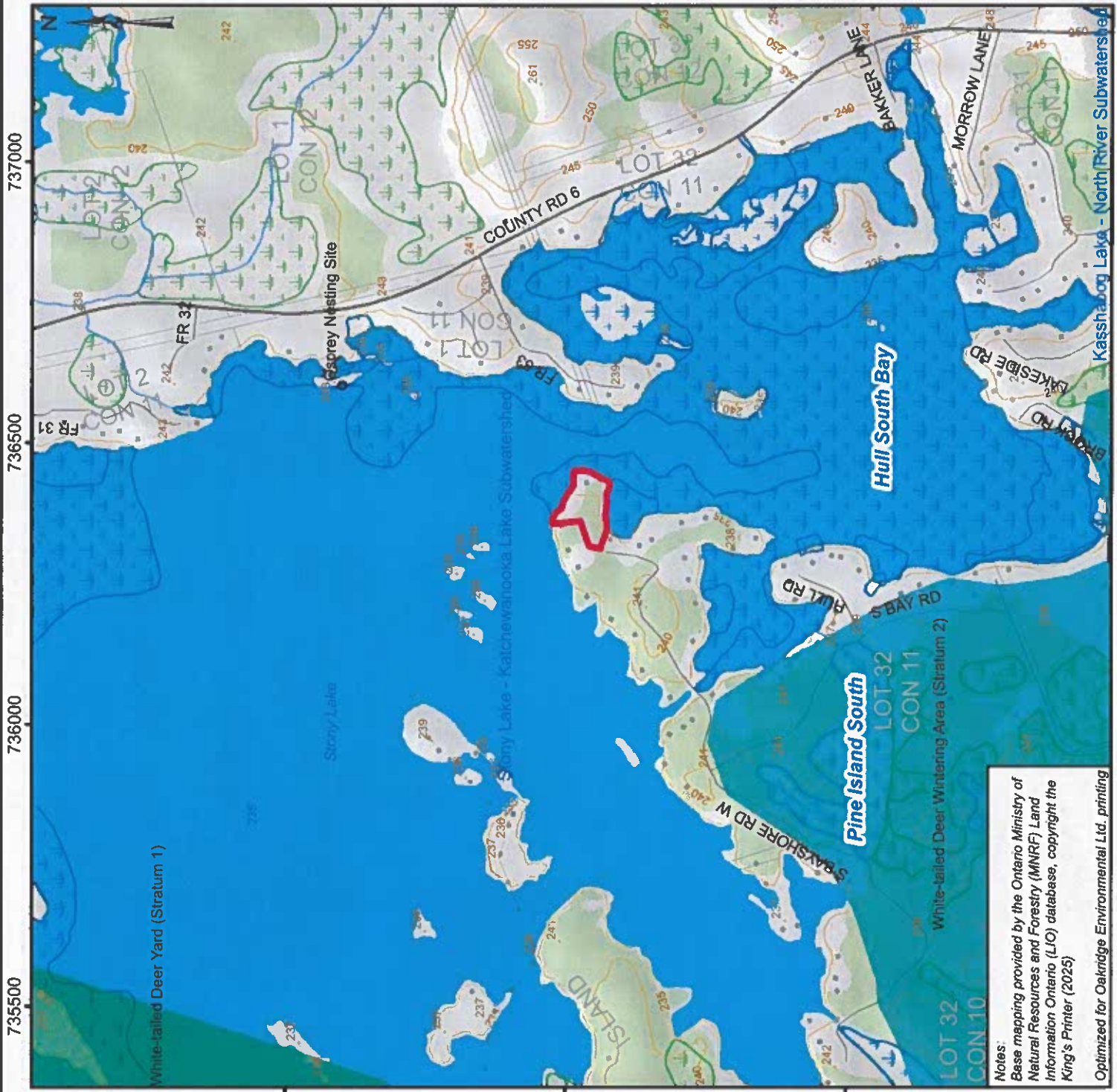
Topography and Drainage

PROJECT #
25-3545

FIGURE NO.

DATE
July 2025












2



Notes:
 Base mapping provided by the Ontario Ministry of
 Natural Resources and Forestry (MNRF) Land
 Information Ontario (LIO) database, copyright the
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NAD 1983 UTM Zone 17N

**Scoped Environmental Impact Study (sEIS)
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake**
Part of Lots 32 & 33, Concession 11 (Dummer)
Township of Douro-Dummer, County of Peterborough

-  Approximate Property Boundary (Peterborough County GIS, 2025)
-  Contact (approximate/assumed)
-  1: Precambrian bedrock
-  2: Precambrian bedrock-drift complex
-  4: Paleozoic bedrock-drift complex
-  5b: Glacial Deposits (Till): Stone-poor, carbonate-derived silty to sandy till
-  5c: Glacial Deposits (Till): Stony, carbonate-derived silty to sandy till
-  7: Glaciofluvial deposits
-  20: Organic deposits
-  Waterbody
-  Watercourse



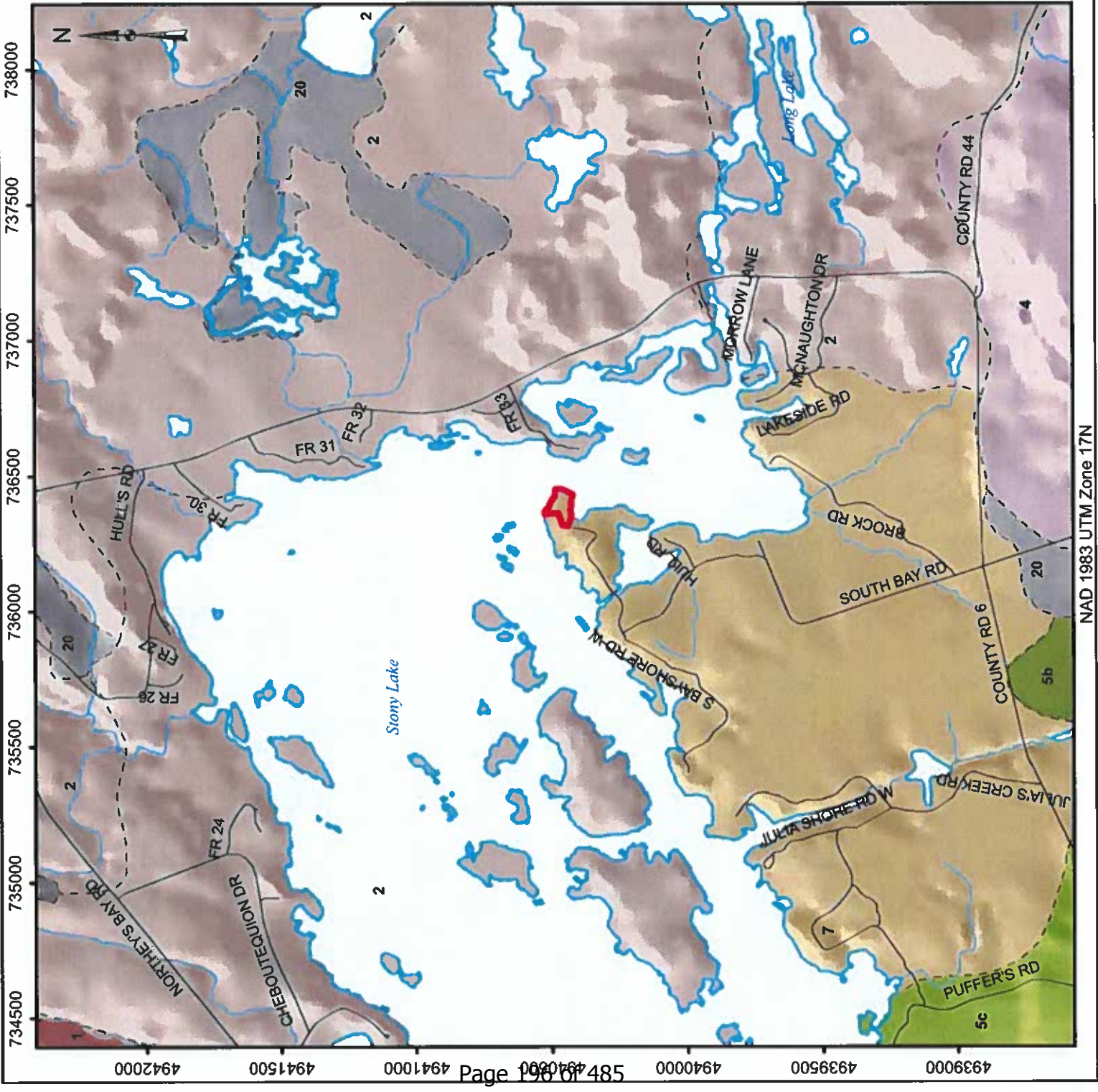
Notes:
Base maps provided by Ontario Geological Survey (OGS), copyright the King's Printer (MRD-128REV, 2011)

Optimized for Oakridge Environmental Ltd. printing
TITLE

Surficial Geology



PROJECT # 25-3545
DATE July 2025
FIGURE NO. 3








NAD 1983 UTM Zone 17N

Scoped Environmental Impact Study (sEIS)
 Proposed Single Residential Development
 1842 South Bayshore Road East, Stony Lake
 Part of Lots 32 & 33, Concession 11 (Dummer)
 Township of Douro-Dummer, County of Peterborough

-  Approximate Property Boundary
[Peterborough County GIS, 2025]
-  Shoreline Interface
[ORE, 2025]
-  Wetland (Provincially Significant)
-  Road
-  Contour (5 m Intervals)

Ecological Land Classification

-  FODM4-1 Dry - Fresh Beech Deciduous Forest Type
-  THCM2-1 Fresh - Moist White Cedar Coniferous Thicket Type
-  CVR-4 Rural Property
-  SAM1-7/AQ1-1 Water Milfoil Mixed Shallow Aquatic Type/Water Lily - Bullhead Lily Floating-leaved Shallow Aquatic Type
-  OAO Open Water Aquatic

Notes:
 Base mapping provided by the Ontario Ministry of Natural Resources and Forestry (MNRF) Land Information Ontario (LIO) database, copyright the King's Printer (2025)
 Imagery provided by Peterborough County GIS (ESRI, 2023)
 Feature locations determined by differential GPS (+/- 3.0 m)
 Optimized for Oakridge Environmental Ltd. printing

TITLE
Vegetation



Oakridge Environmental Ltd.
 Environmental and Hydrological Services

PROJECT #	25-3545
DATE	July 2025
FIGURE NO.	4





Photo A (Above): was taken on the south side of the peninsula overlooking a boulder that occurs in the nearshore/littoral zone. The floating leaved species surrounding the boulder comprise the PSW. The submerged aquatics in the photo were mapped as part of the PSW, however, ORE staff noted the submerged aquatics extend well beyond the mapped PSW boundary.



Photo B (Above): was taken within the only area on the property that possesses any appreciable vegetation cover. The mature tree species is dominated by the non-native tree species Black Locust, which tend to monopolize areas that it grows. The majority of the woodland floor is comprised of vines and Poison Ivy.



Photo C (Above): was taken looking north along the east shore between the existing seasonal residence and the lakefront, which is just outside the right side of the photo. There are some relatively large White Pine trees that remain scattered throughout the CVR_4 ecosite area.

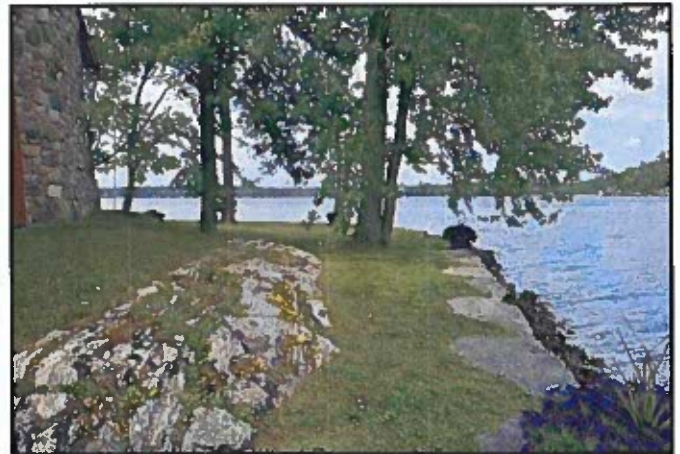


Photo D (Above): was taken along the south side of the seasonal residence overlooking the narrows in the background of the photo. There are a few sporadic Silver Maples in the background that buffer the lakeshore from the existing development. Note the limestone and rip-rap erosion controls that surround the majority of the shoreline.

Site photos were taken on June 30th, 2024

Scoped Environmental Impact Study (sEIS)
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
 Part of Lots 32 & 33, Concession 11 (Dummer)
 Township of Douro-Dummer, County of Peterborough

TITLE

Site Photos

PROJECT #

25-3545

FIGURE NO.















5

DATE

July 2025



Scoped Environmental Impact Study (sEIS)
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
 Part of Lots 32 & 33, Concession 11 (Dummer)
 Township of Douro-Dummer, County of Peterborough

-  Approximate Property Boundary
[Peterborough County GIS, 2025]
-  ORCA Floodplain (235.51 m)
[Jason Cutajar, 2025]
-  Shoreline Interface
[ORE, 2025]
-  Proposed Gravel Driveway
[Jason Cutajar, 2025]
-  Proposed Dwelling & Garage
[Jason Cutajar, 2025]
-  Proposed Septic
[Jason Cutajar, 2025]
-  Existing Shed
[Elliott and Parr, 2023]
-  Existing Boathouse
[Elliott and Parr, 2023]
-  Existing Dwelling
[Elliott and Parr, 2023]
-  Recommended Light-duty Silt Fence
[ORE, 2025]
-  Wetland (Provincially Significant)
-  30 m Water Setback
[Jason Cutajar, 2025]
-  Road
-  Contour (5 m Intervals)

TITLE
Constraints



ORE
 Oakridge Environmental Ltd.
 Environmental and Hydrogeological Services

PROJECT # 25-3545
 DATE July 2025

FIGURE NO. **6**



Notes:
 Base mapping provided by the Ontario Ministry of Natural Resources and Forestry (MNR) Land Information Ontario (LIO) database, copyright the King's Printer (2025)
 Imagery provided by Peterborough County GIS (ESRI, 2023)
 Proposed development, ORCA floodplain, and 30 m water setback obtained from Jason Cutajar Architectural Design via Updated Key Site Plan dated July 16th, 2025
 Existing development obtained from Elliott and Parr via Topographic Survey dated November 14th, 2023
 Feature locations determined by differential GPS (+/- 3.0 m)
 Optimized for Oakridge Environmental Ltd. printing



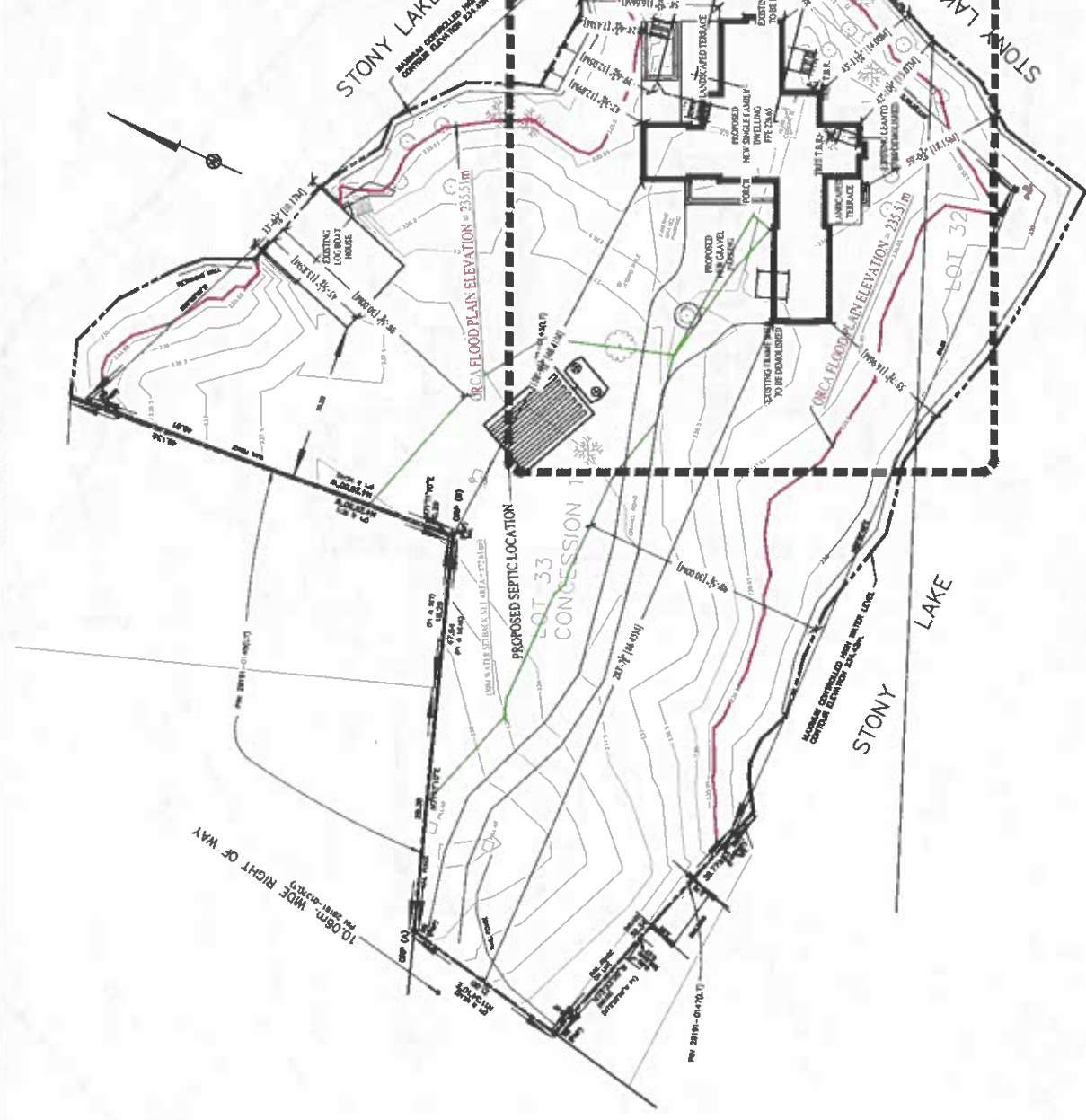
Appendix A

Proponent's Conceptual Site Plan



1842 SOUTH BAYSHORE RD
 ONTARIO
 CANADA

NO.	DESCRIPTION	PROVIDED	COMPLETES
1	EXISTING HOUSE	Y	Y
2	EXISTING LOG BOAT HOUSE	Y	Y
3	EXISTING SEPTIC TANK	Y	Y
4	EXISTING DRIVEWAY	Y	Y
5	EXISTING PATIO	Y	Y
6	EXISTING DECK	Y	Y
7	EXISTING PORCH	Y	Y
8	EXISTING WALKWAY	Y	Y
9	EXISTING DRIVE	Y	Y
10	EXISTING FENCE	Y	Y
11	EXISTING UTILITY	Y	Y
12	EXISTING LANDSCAPE	Y	Y
13	EXISTING TREES	Y	Y
14	EXISTING SHRUBS	Y	Y
15	EXISTING GRASS	Y	Y
16	EXISTING DRIVEWAY	Y	Y
17	EXISTING DRIVE	Y	Y
18	EXISTING FENCE	Y	Y
19	EXISTING UTILITY	Y	Y
20	EXISTING LANDSCAPE	Y	Y
21	EXISTING TREES	Y	Y
22	EXISTING SHRUBS	Y	Y
23	EXISTING GRASS	Y	Y
24	EXISTING DRIVEWAY	Y	Y
25	EXISTING DRIVE	Y	Y
26	EXISTING FENCE	Y	Y
27	EXISTING UTILITY	Y	Y
28	EXISTING LANDSCAPE	Y	Y
29	EXISTING TREES	Y	Y
30	EXISTING SHRUBS	Y	Y
31	EXISTING GRASS	Y	Y
32	EXISTING DRIVEWAY	Y	Y
33	EXISTING DRIVE	Y	Y
34	EXISTING FENCE	Y	Y
35	EXISTING UTILITY	Y	Y
36	EXISTING LANDSCAPE	Y	Y
37	EXISTING TREES	Y	Y
38	EXISTING SHRUBS	Y	Y
39	EXISTING GRASS	Y	Y
40	EXISTING DRIVEWAY	Y	Y
41	EXISTING DRIVE	Y	Y
42	EXISTING FENCE	Y	Y
43	EXISTING UTILITY	Y	Y
44	EXISTING LANDSCAPE	Y	Y
45	EXISTING TREES	Y	Y
46	EXISTING SHRUBS	Y	Y
47	EXISTING GRASS	Y	Y
48	EXISTING DRIVEWAY	Y	Y
49	EXISTING DRIVE	Y	Y
50	EXISTING FENCE	Y	Y



10		
9		
8		
7		
6		
5		
4		
3	ZONING REVIEW SUBMITTAL	01/16/25
2	FOOTPRINT RELOCATED	06/29/25
1	ZONING REVIEW SUBMITTAL	11/13/24

KEY PLAN
 SITE PLAN

DATE: 11/13/2024
 TIME: 1:25:00
 PROJECT NO: 1842SB

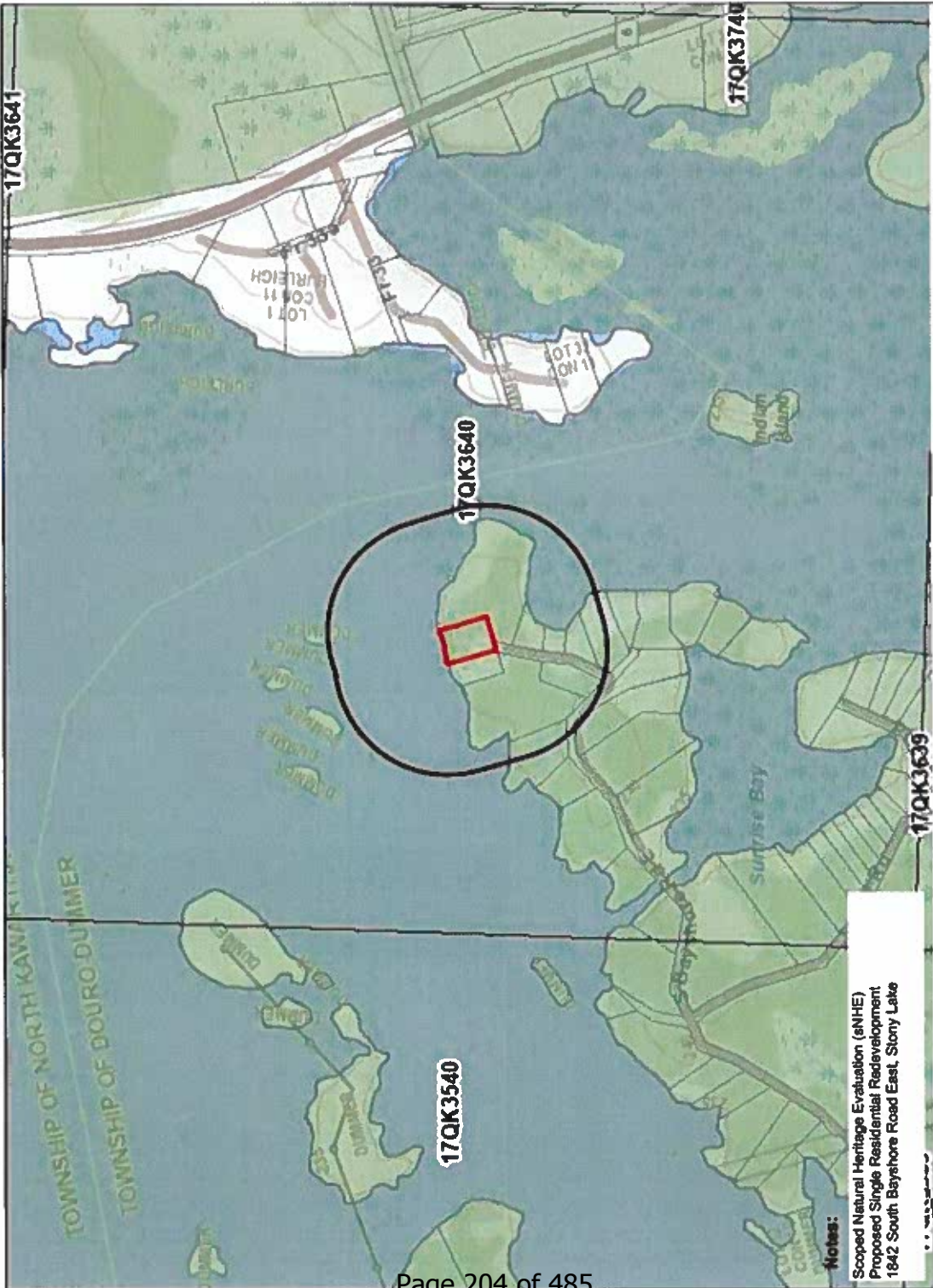
DESIGNED BY: J.C.
 CHECKED BY: J.C.
 DRAWN BY: J.C.

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Appendix B
SAR Database Excerpts

Legend

- Assessment Parcel
- NHIC 1 Km Grid
- ANSI
- Earth Science Provincially Significant/Importance de la terre d'importance provinciale
- Earth Science Regionally Significant/Importance de la terre d'importance régionale
- Life Science Provincially Significant/Importance de la vie d'importance provinciale
- Life Science Regionally Significant/Importance de la vie d'importance régionale
- Conservation Reserve
- Provincial Park
- Natural Heritage System



Notes:
 Scoped Natural Heritage Evaluation (sNHE)
 Proposed Single Residential Redevelopment
 1642 South Bayshore Road East, Stony Lake



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0.3 Kilometres Absence of a feature in the map does not mean they do not exist in this area.



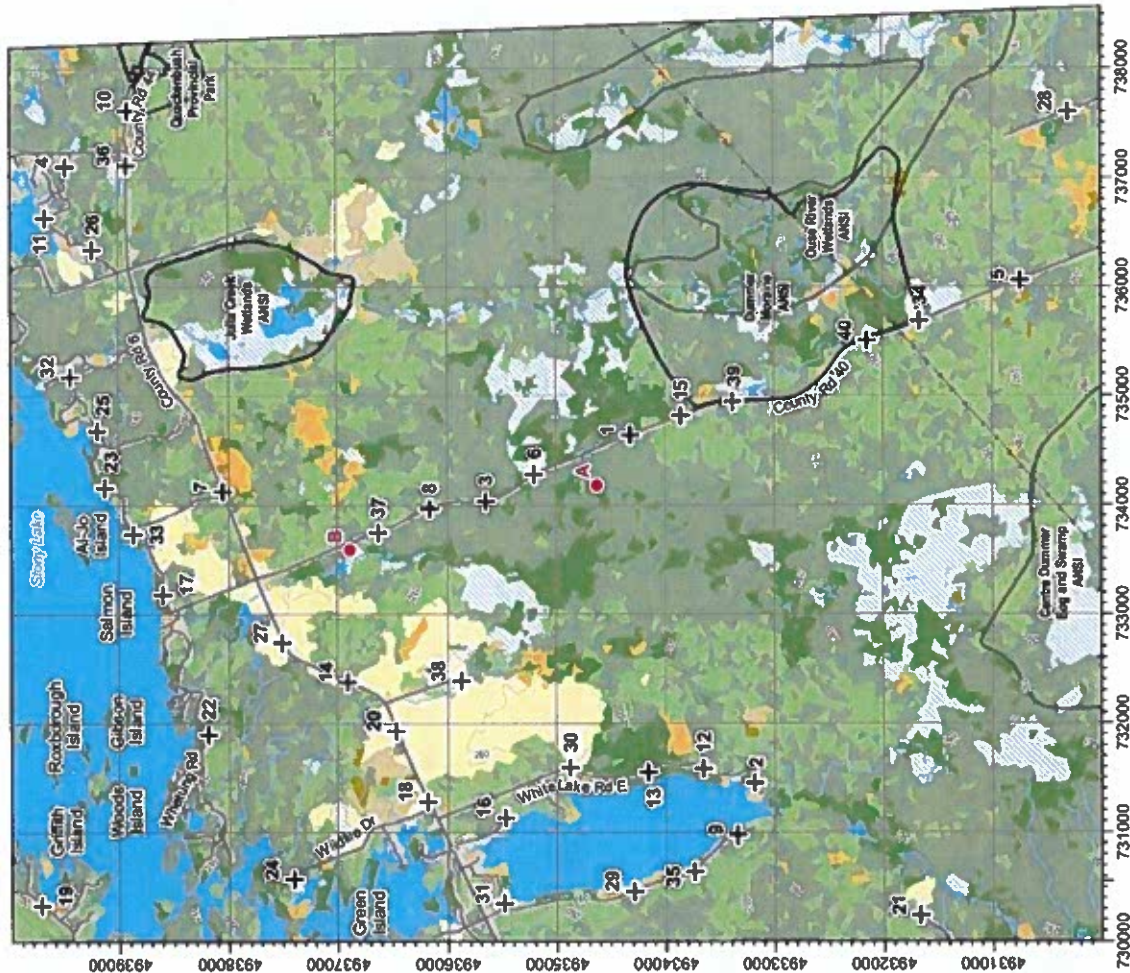
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NHIC Data

To work further with this data select the content and copy it into your own word or excel documents.

OGF ID	Element Type	Common Name	Scientific Name	SRank	SARO Status	COSEWIC Status	ATLAS NAD83 IDENT	COMMENTS
1065273	SPECIES	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	S4	SC	SC	17QK3640	
1065273	SPECIES	Prairie Warbler	<i>Setophaga discolor</i>	S2B	NAR	NAR	17QK3640	
1065273	SPECIES	Midland Painted Turtle	<i>Chrysemys picta marginata</i>	S4		SC	17QK3640	
1065273	SPECIES	Eastern Wood-pewee	<i>Contopus virens</i>	S4B	SC	SC	17QK3640	
1065273	SPECIES	Eastern Ribbonsnake	<i>Thamnophis saurita</i>	S4	SC	SC	17QK3640	
1065273	SPECIES	Eastern Musk Turtle	<i>Sternotherus odoratus</i>	S3	SC	SC	17QK3640	
1065273	SPECIES	Common Five-lined Skink (Great Lakes/St. Lawrence population)	<i>Plestiodon fasciatus</i> pop. 2	S3	SC	SC	17QK3640	
1065273	SPECIES	Snapping Turtle	<i>Chelydra serpentina</i>	S4	SC	SC	17QK3640	
1065273	SPECIES	Eastern Whip-poor-will	<i>Antrostomus vociferus</i>	S4B	THR	SC	17QK3640	
1065273	WILDLIFE CONCENTRATION AREA	Colonial Waterbird Nesting Area	Colonial Waterbird Nesting Area				17QK3640	
1065273	WILDLIFE CONCENTRATION AREA	Mixed Wader Nesting Colony	Mixed Wader Nesting Colony				17QK3640	



POINT	EASTING	NORTHING
1	724638	4934318
2	731452	4933179
3	734035	4933657
4	737103	4933489
5	736061	4930741
6	734283	4935204
7	734125	4936053
8	733968	4935181
9	730974	4933344
10	737616	4938914
11	736635	4939675
12	731589	4933654
13	731548	4934162
14	732379	4936905
15	734615	4933852
16	731134	4935470
17	733182	4936594
18	731286	4936178
19	730333	4939721
20	731932	4934461
21	730244	4931683
22	731901	4938184
23	734165	4939127
24	730578	4937405
25	734681	4939197
26	736340	4939242
27	732740	4937503
28	737801	4930295
29	730486	4934285
30	731594	4934870
31	730355	4934486
32	735178	4939450
33	733733	4938866
34	735685	4931662
35	730643	4933736
36	737116	4938927
37	733745	4938623
38	732388	4935677
39	734947	4933377
40	735504	4932141

Number of off-road point counts
Nombre de points d'écoute hors route

Broadleaf forest: 1
Coniferous forest: 1
Mixed forest: 3

Grassland: 0
Wetland: 0
Shrubland: 0

Predefined / Prédéterminés: 20
Off-road / Hors route: 5

Atlas-2 off-road point
Atlas-2 Point hors route



- Legend**
Autoroute ou route nationale (asphaltée)
Route régionale ou locale (asphaltée ou non)
Ressource / route récréative
Rail line
Utility corridor
Watercourse
Rivière ou ruisseau
Protected or conserved area
Zone protégée ou conservée
Fire disturbance since 2000
Incendie perturbé depuis 2000
- Legend**
Broadleaf forest
Forêt de feuillus
Coniferous forest
Forêt de conifères
Mixed forest
Forêt mixte
Shrubland
Milieu arbustif
Grassland
Prairie
Barren
Dénué
Wetland
Milieu humide
Agriculture
Milieu agricole
Water
Eau
Developed area
Zone développée
Unclassified
Non classifié

The approximate percent coverage of each habitat type is indicated by the numbered box in the legend.
La couverture approximative est indiquée en pourcentage dans le rectangle coloré de la légende.

Catographic production by Bird Canada
Production cartographique par Oiseau Canada

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Avis: Les responsables du projet d'Atlas ne peuvent être tenus responsables de toute inexactitude, erreur ou omission concernant les informations apparaissant sur cette carte.

6th Universal Transverse Mercator (UTM) Projection: Zone 17
Central Meridian -81° North American Datum 1983 (NAD 83)
Projection universelle transversale de Mercator (UTM) 6^e Zone 17 méridien central -81°
Système de référence géodésique nord-américain 1983 (NAD 83)





**BIRDS CANADA
OISEAUX CANADA**

Square Summary (17TQK33) [[change](#)]

	#species	prob	conf	total	total	peak	road	#pc done
Curr.	37	42	23	102	59.7	22.8	23	1
Prev.	59	20	39	118	46.3	---		32

Region summary (#16: Peterborough, ON)

	#squares	#sq with data	#species	#squares (pc)	target	compl.
	60	60	170		60	45
	60	60	185		0	60

Target number of point counts in this square: 25 in total: 20 road side, 5 off road (Broadleaf Forest in 1, Coniferous Forest in 1, Mixed Forest in 3). Please try to ensure that each off-road station is located such that the entire 100m radius circle is within the prescribed habitat. Predef. completed: [01, 03, 04, 06, 07, 08, 09, 10, 14, 17, 18, 20, 26, 27, 28, 29, 31, 34, 35, 37, 38, 39, 40, A]

SPECIES	Prev. Code %	
	FY	FY
Canada Goose		90
Mute Swan †		5
Trumpeter Swan		43
Wood Duck	H	H 91
Blue-winged Teal †		15
Northern Shoveler †		1
Gadwall †		0
American Wigeon †		0
Mallard	P	P 98
American Black Duck	FY	FY 11
Northern Pintail †		0
Green-winged Teal †		6
Redhead †		0

American Bittern	S	S	83
Least Bittern †			40
Green Heron \$	FY	D	53
Great Blue Heron \$	NY	H	81
Turkey Vulture	H	H	96
Osprey	AE	NY	60
Sharp-shinned Hawk	H		33
Cooper's Hawk			33
American Goshawk †			11
Northern Harrier	H		38
Bald Eagle †			15
Broad-winged Hawk	P	S	95
Red-shouldered Hawk	NY	S	53
Red-tailed Hawk	H	H	51
Eastern Screech-Owl			16
Great Horned Owl †	S		26
Barred Owl	P	S	66
Long-eared Owl †	S		8

SPECIES	Prev. Code	%	
Short-eared Owl †		0	
Northern Saw-whet Owl	S	10	
Belted Kingfisher	S	H	96
Yellow-bellied Sapsucker	NY	CF	100
Red-headed Woodpecker †		16	
Red-bellied Woodpecker		43	
Black-backed Woodpecker †		3	
Downy Woodpecker	S	S	90
Hairy Woodpecker	D	T	98
Pileated Woodpecker	CF	T	100
Northern Flicker	CF	A	100
American Kestrel \$		56	
Merlin	AE	60	
Peregrine Falcon †		1	
Olive-sided Flycatcher †		13	
Eastern Wood-Pewee \$	A	T	100
Yellow-bellied Flycatcher †		0	

Alder Flycatcher	S	S	98
Willow Flycatcher	S		38
Least Flycatcher	S	S	96
Eastern Phoebe	CF	T	100
Great Crested Flycatcher	NY	T	100
Eastern Kingbird	FY	T	98
Yellow-throated Vireo	S	S	48
Blue-headed Vireo	S	T	83
Philadelphia Vireo ‡			0
Warbling Vireo	S	S	85
Red-eyed Vireo	A	T	100
Loggerhead Shrike †			0
Canada Jay ‡			5
Blue Jay	FY	FY	100
American Crow	FY	NY	98
Common Raven	AE	FY	100

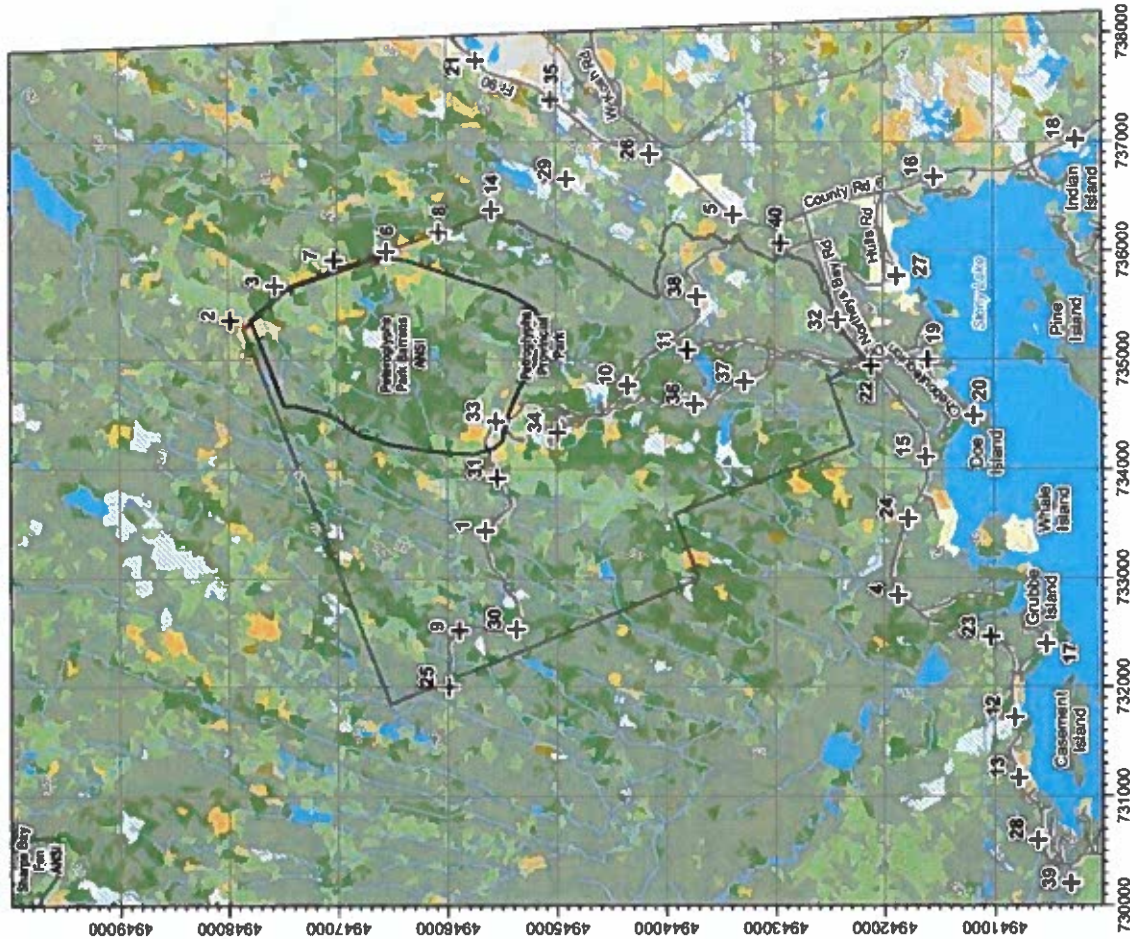
Breeding Bird Atlas - Summary Sheet for Square 17TQK33 (page 2 of 2)

SPECIES	Prev. Code %	
	FY	FY
Black-capped Chickadee		100
Boreal Chickadee ‡		0
Horned Lark ‡		11
Bank Swallow \$	H	18
Tree Swallow	AE	95
Purple Martin ‡	AE	6
Northern Rough-winged Swallow		23
Barn Swallow \$	NB	90
Cliff Swallow \$		21
Ruby-crowned Kinglet ‡	H	0
Golden-crowned Kinglet		51
White-breasted Nuthatch	CF	98
Red-breasted Nuthatch	FY	96
Brown Creeper	S	85
Blue-gray Gnatcatcher ‡		5
Northern House Wren	N	85
Winter Wren	A	100
Pacific/Winter Wren ‡	S	0
Sedge Wren ‡		11
Marsh Wren		51
Carolina Wren ‡		6
European Starling	CF	86
Gray Catbird	S	95
Brown Thrasher	S	78
Northern Mockingbird ‡		5
Eastern Bluebird		60
Veery	S	100
Swainson's Thrush	H	26
Hermit Thrush	S	86
Wood Thrush \$	S	98
American Robin	CF	100
Cedar Waxwing	P	98
House Sparrow	P	40
SPECIES	Prev. Code %	

Evening Grosbeak †	FY	3
House Finch		25
Purple Finch	P	T 100
Red Crossbill †		28
White-winged Crossbill †		8
Pine Siskin †		S 38
American Goldfinch	P	P 98
Grasshopper Sparrow §		28
Chipping Sparrow	CF	CF 100
Clay-colored Sparrow †		23
Field Sparrow §	S	T 70
Dark-eyed Junco †	H	5
White-throated Sparrow	S	A 100
Vesper Sparrow	S	35
Savannah Sparrow	CF	T 61
Song Sparrow	FY	CF 100
Lincoln's Sparrow †		5
Swamp Sparrow	S	T 100
Eastern Towhee §		T 61
Bobolink §	P	T 56
Eastern Meadowlark §	CF	S 61
Orchard Oriole †		10
Baltimore Oriole	S	S 86
Red-winged Blackbird	CF	A 100
Brown-headed Cowbird	S	P 75
Common Grackle	CF	FS 100
Ovenbird	FY	D 100
Northern Waterthrush	A	T 100
Golden-winged Warbler †	S	28
Blue-winged Warbler †		18
Black-and-white Warbler	S	T 98
Tennessee Warbler †		0
Nashville Warbler	S	T 96
SPECIES	Prev. Code	%
Mourning Warbler	S	S 88
Common Yellowthroat	FY	CF 100

Hooded Warbler †				0
American Redstart	P	S		100
Cape May Warbler †				0
Cerulean Warbler †				3
Northern Parula †				33
Magnolia Warbler	S	T		85
Bay-breasted Warbler †				0
Blackburnian Warbler	S	S		85
Yellow Warbler	S	S		98
Chestnut-sided Warbler	S	FY		100
Black-throated Blue Warbler	S	S		71
Pine Warbler	CF	CF		98
Yellow-rumped Warbler	S	T		95
Prairie Warbler †				1
Black-throated Green Warbler	S	T		98
Canada Warbler §	S	S		78
Scarlet Tanager	S	T		98
Northern Cardinal	S	S		53
Rose-breasted Grosbeak	S	T		100
Indigo Bunting	S	T		96

This list includes all breeding species expected in the region #16 (Peterborough). Underlined species are those that you should try to add to this square (17TQK33). They have not yet been reported in this square, but have been reported in more than 50% of the squares in this region so far. "Prev." is the code for the highest breeding evidence for that species in square 17TQK33 in the previous atlas. "Code" is the code for the highest breeding evidence for that species in square 17TQK33 over the last 5 years. The % columns give the percentage of squares in that region where that species was reported (this gives an idea of the expected chance of finding that species in region #16). Rare/Colonial Species Report Forms should be completed for species marked: § (Species of interest), † (regionally rare), ‡ (provincially rare). An up-to-date version of this sheet is available from <https://naturecounts.ca/nc/atlas/squaresummaryform.jsp?squareID=17TQK33&lang=EN> Data current as of 2/06/2025 18:18.



POINT	EASTING	NORTHING
+	UTM Est	UTM Nord
1	733431	4845852
2	735363	4847976
3	735863	4847570
4	732846	4841865
5	738329	4843389
6	735997	4846545
7	735919	4847030
8	736174	4846072
9	732523	4845892
10	734767	4844341
11	735088	4843797
12	731732	4840810
13	731169	4840775
14	738375	4845588
15	734114	4841613
16	738677	4841529
17	732398	4840522
18	737021	4840234
19	735002	4841592
20	734486	4841175
21	737746	4843725
22	734943	4842112
23	732460	4841033
24	733545	4841773
25	732004	4845987
26	736886	4844132
27	735768	4841868
28	730801	4840604
29	736656	4844897
30	732535	4845371
31	733920	4845544
32	735366	4842420
33	734434	4845548
34	734333	4844992
35	737383	4845046
36	734591	4843725
37	734799	4843270
38	735592	4843703
39	730205	4840296
40	738088	4842843

Number of off-road point counts
Nombre de points d'écoutes hors route

Broadleaf forest: 1 Grassland: 0
Coniferous forest: 1 Wetland: 0
Mixed forest: 3 Shrubland: 0

Predefined / Prédéterminés: 20
Off-road / Hors route: 5

Atlas-2 off-road point
Atlas-2 Point hors route



Légende
Autoroute ou route nationale (asphaltée)
Route régionale ou locale (asphaltée ou non)
Ressource / route récréative
Chemin de fer
Ligne de transport d'énergie
Rivière ou ruisseau
Zone protégée ou conservée
Incendie perturbé depuis 2000
Forêt de feuillus
Forêt de conifères
Forêt mixte
Milieu arbustif
Prairie
Dérudé
Milieu humide
Agriculture
Milieu agricole
Eau
Zone développée
Non classifié

The approximate percent coverage of each habitat type is indicated by the numbered box in the legend.
La couverture approximative est indiquée en pourcentage dans le rectangle coloré de la légende.

Catographic production by Birds Canada
Production cartographique par Oiseaux Canada.

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6° Universal Transverse Mercator (UTM) Projection, Zone 17
Central Meridian -81° North American Datum 1983 (NAD 83)
Projection universelle transverse de Mercator (UTM), 6° Zone 17, méridien central -81°
Système de référence géodésique nord-américain 1983 (NAD 83)



March 2021 / mars 2021
<https://www.birdsonario.org/>



**BIRDS CANADA
OISEAUX CANADA**

Square Summary (17TQK34) [[change](#)]

	#species			#hours			#pc done		
	poss	prob	conf	total	total	peak	road	road	offrd
Curr.	45	24	36	105	96	47.3	29	29	2
Prev.	27	46	43	116	60.3	--			29

Region summary (#16: Peterborough, ON)

	#squares	#sq with data	#species	#squares (pc)	target	compl.
	60	60	170		60	45
	60	60	185		0	60

Target number of point counts in this square: 25 in total: 20 road side, 5 off road (Broadleaf Forest in 1, Coniferous Forest in 1, Mixed Forest in 3). Please try to ensure that each off-road station is located such that the entire 100m radius circle is within the prescribed habitat. Pref. completed: [01, 02, 03, 04, 05, 06, 07, 08, 09, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 22, 23, 24, 25, 26, 29, 30]

SPECIES	Prev. Code %	
	NE	FY
Canada Goose		90
Mute Swan †		5
Trumpeter Swan		43
Wood Duck	P	FY 91
Blue-winged Teal †		15
Northern Shoveler †		1
Gadwall †		0
American Wigeon †		0
Mallard	FY	FY 98
American Black Duck		H 11
Northern Pintail †		0
Green-winged Teal †	P	6
Redhead †		0

American Bittern	T	S	83
Least Bittern †	S	FY	40
Green Heron §	H		53
Great Blue Heron §	H	H	81
Turkey Vulture	H	H	96
Osprey	NY	P	60
Sharp-shinned Hawk			33
Cooper's Hawk			33
American Goshawk ‡	A		11
Northern Harrier		H	38
Bald Eagle ‡			15
Broad-winged Hawk	T	FY	95
Red-shouldered Hawk	P		53
Red-tailed Hawk		H	51
Eastern Screech-Owl			16
Great Horned Owl ‡			26
Barred Owl	FY	S	66
Long-eared Owl ‡			8

SPECIES	Prev. Code	%	
Short-eared Owl †		0	
Northern Saw-whet Owl		10	
Belted Kingfisher	CF	P	96
Yellow-bellied Sapsucker	NY	NY	100
Red-headed Woodpecker †		16	
Red-bellied Woodpecker		43	
Black-backed Woodpecker ‡	H		3
Downy Woodpecker	T	S	90
Hairy Woodpecker	NY	FY	98
Pileated Woodpecker	T	FY	100
Northern Flicker	NY	CF	100
American Kestrel §			56
Merlin			60
Peregrine Falcon ‡			1
Olive-sided Flycatcher ‡	T		13
Eastern Wood-Pewee §	FY	T	100
Yellow-bellied Flycatcher ‡			0

Alder Flycatcher	T	FY	98
Willow Flycatcher	S		38
Least Flycatcher	T	S	96
Eastern Phoebe	NY	FY	100
Great Crested Flycatcher	FY	V	100
Eastern Kingbird	FY	NY	98
Yellow-throated Vireo	S	T	48
Blue-headed Vireo	FY	S	83
Philadelphia Vireo †			0
Warbling Vireo	T	S	85
Red-eyed Vireo	CF	A	100
Loggerhead Shrike †			0
Canada Jay †	FY	H	5
Blue Jay	P	FY	100
American Crow	NY	S	98
Common Raven	NY	T	100

Breeding Bird Atlas - Summary Sheet for Square 17TQK34 (page 2 of 2)

SPECIES	Prev. Code %	
	FY	FY
Black-capped Chickadee		100
Boreal Chickadee †		0
Horned Lark †		11
Bank Swallow \$		18
Tree Swallow	AE	H 95
Purple Martin †		6
Northern Rough-winged Swallow		23
Barn Swallow \$	S	NB 90
Cliff Swallow \$		21
Ruby-crowned Kinglet †	NB	0
Golden-crowned Kinglet	FY	S 51
White-breasted Nuthatch	T	T 98
Red-breasted Nuthatch	NB	T 96
Brown Creeper	FY	A 85
Blue-gray Gnatcatcher †		5
Northern House Wren	S	A 85
Winter Wren		S 100
Pacific/Winter Wren †	T	0
Sedge Wren †		11
Marsh Wren	S	T 51
Carolina Wren †		6
European Starling	CF	H 86
Gray Catbird	S	FY 95
Brown Thrasher	P	CF 78
Northern Mockingbird †		5
Eastern Bluebird		60
Veery	T	A 100
Swainson's Thrush	T	26
Hermit Thrush	NY	S 86
Wood Thrush \$	S	H 98
American Robin	NY	CF 100
Cedar Waxwing	CF	FY 98
House Sparrow		40
SPECIES	Prev. Code %	

Evening Grosbeak †	D		3
House Finch			25
Purple Finch	T	P	100
Red Crossbill †		P	28
White-winged Crossbill †	D		8
Pine Siskin †	D	S	38
American Goldfinch	T	T	98
Grasshopper Sparrow \$			28
Chipping Sparrow	CF	FY	100
Clay-colored Sparrow †	S		23
Field Sparrow \$	S	P	70
Dark-eyed Junco †	S		5
White-throated Sparrow	A	CF	100
Vesper Sparrow			35
Savannah Sparrow			61
Song Sparrow	T	FY	100
Lincoln's Sparrow †			5
Swamp Sparrow	S	A	100
Eastern Towhee \$	T	P	61
Bobolink \$			56
Eastern Meadowlark \$			61
Orchard Oriole †			10
Baltimore Oriole	NU	S	86
Red-winged Blackbird	A	FY	100
Brown-headed Cowbird	NY	S	75
Common Grackle	CF	CF	100
Ovenbird	NE	DD	100
Northern Waterthrush	T	S	100
Golden-winged Warbler †	S	S	28
Blue-winged Warbler †			18
Black-and-white Warbler	A	S	98
Tennessee Warbler †			0
Nashville Warbler	T	A	96
SPECIES	Prev. Code	%	
Mourning Warbler	S	S	88
Common Yellowthroat	FY	FY	100

Hooded Warbler †				0
American Redstart	P	S		100
Cape May Warbler †	S			0
Cerulean Warbler †				3
Northern Parula †				33
Magnolia Warbler	T	S		85
Bay-breasted Warbler †				0
Blackburnian Warbler	T	S		85
Yellow Warbler	P	S		98
Chestnut-sided Warbler	CF	FY		100
Black-throated Blue Warbler	T	S		71
Pine Warbler	FY	CF		98
Yellow-rumped Warbler	T	CF		95
Prairie Warbler †				1
Black-throated Green Warbler	T	S		98
Canada Warbler §	T	CF		78
Scarlet Tanager	T	S		98
<u>Northern Cardinal</u>	S			53
Rose-breasted Grosbeak	FY	FY		100
Indigo Bunting	NY	FY		96

This list includes all breeding species expected in the region #16 (Peterborough). Underlined species are those that you should try to add to this square (17TQK34). They have not yet been reported in this square, but have been reported in more than 50% of the squares in this region so far. "Prev." is the code for the highest breeding evidence for that species in square 17TQK34 in the previous atlas. "Code" is the code for the highest breeding evidence for that species in square 17TQK34 over the last 5 years. The % columns give the percentage of squares in that region where that species was reported (this gives an idea of the expected chance of finding that species in region #16). Rare/Colonial Species Report Forms should be completed for species marked: § (Species of interest), † (regionally rare), ‡ (provincially rare). An up-to-date version of this sheet is available from <https://naturecounts.ca/nc/atlas/squaresummaryform.jsp?squareID=17TQK34&lang=EN> Data current as of 2/06/2025 18:18.

Change Region ▾

Petroglyphs Provincial Park (general location)

Peterborough, Ontario, Canada



▶ HOTSPOT NAVIGATION

Bird List

Updated ~6 seconds ago



154
All Years







52
This Year

0
This Month

Last Observed
First Observed
High Count
Custom Time Period ▾

SPECIES NAME	COUNT	DATE ▾	OBSERVER	LOCATION
1. Ruby-throated Hummingbird <i>Archilochus colubris</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
2. Yellow-bellied Sapsucker <i>Sphyrapicus varius</i>	5	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
3. Hairy Woodpecker <i>Dryobates villosus</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
4. Eastern Phoebe <i>Sayornis phoebe</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
5. Great Crested Flycatcher <i>Myiarchus crinitus</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
6. Blue-headed Vireo <i>Vireo solitarius</i>	2	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
7. Blue Jay <i>Cyanocitta cristata</i>	7	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
8. American Crow <i>Corvus brachyrhynchos</i>	2	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)







9.	Black-capped Chickadee <i>Poecile atricapillus</i>	5	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)  
10.	White-breasted Nuthatch <i>Sitta carolinensis</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
11.	Red-breasted Nuthatch <i>Sitta canadensis</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
12.	Winter Wren <i>Troglodytes hiemalis</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
13.	Veery <i>Catharus fuscescens</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
14.	Hermit Thrush <i>Catharus guttatus</i>	2	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
15.	American Robin <i>Turdus migratorius</i>	3	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
16.	Chipping Sparrow <i>Spizella passerina</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
17.	White-throated Sparrow <i>Zonotrichia albicollis</i>	4	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
18.	Song Sparrow <i>Melospiza melodia</i>	2	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
19.	Red-winged Blackbird <i>Agelaius phoeniceus</i>	3	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
20.	Ovenbird <i>Seiurus aurocapilla</i>	9	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
21.	Northern Waterthrush <i>Parkesia noveboracensis</i>	2	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
22.	Black-and-white Warbler <i>Mniotilta varia</i>	2	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
23.	Nashville Warbler <i>Leiothlypis ruficapilla</i>	6	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)
24.	Common Yellowthroat <i>Geothlypis trichas</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)

25.	Black-throated Blue Warbler <i>Setophaga caerulescens</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)	
26.	Pine Warbler <i>Setophaga pinus</i>	6	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)	 
27.	Yellow-rumped Warbler <i>Setophaga coronata</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)	
28.	Black-throated Green Warbler <i>Setophaga virens</i>	1	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)	 
29.	Rose-breasted Grosbeak <i>Pheucticus ludovicianus</i>	3	11 May 2025	C Douglas	Petroglyphs Provincial Park (general location)	 
30.	Bufflehead <i>Bucephala albeola</i>	3	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
31.	Hooded Merganser <i>Lophodytes cucullatus</i>	2	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
32.	Ruffed Grouse <i>Bonasa umbellus</i>	2	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
33.	Great Blue Heron <i>Ardea herodias</i>	1	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
34.	Broad-winged Hawk <i>Buteo platypterus</i>	1	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
35.	Northern Flicker <i>Colaptes auratus</i>	1	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
36.	Common Raven <i>Corvus corax</i>	1	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
37.	Brown Creeper <i>Certhia americana</i>	5	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
38.	Purple Finch <i>Haemorhous purpureus</i>	1	3 May 2025	Kim Bennett	Petroglyphs Provincial Park (general location)	
39.	American Goldfinch <i>Spinus tristis</i>	2	3 May 2025	Scott Kendall	Petroglyphs Provincial Park (general location)	



40.	Swamp Sparrow <i>Melospiza georgiana</i>	2	3 May 2025	Scott Kendall	Petroglyphs Provincial Park (general location)
41.	Rusty Blackbird <i>Euphagus carolinus</i>	2	3 May 2025	Scott Kendall	Petroglyphs Provincial Park (general location)
42.	Mallard <i>Anas platyrhynchos</i>	2	20 Apr 2025	Taylor Simpanen	Petroglyphs Provincial Park (general location)
43.	Ring-necked Duck <i>Aythya collaris</i>	6	20 Apr 2025	Taylor Simpanen	Petroglyphs Provincial Park (general location)
44.	Downy Woodpecker <i>Dryobates pubescens</i>	1	20 Apr 2025	Taylor Simpanen	Petroglyphs Provincial Park (general location)
45.	Pileated Woodpecker <i>Dryocopus pileatus</i>	2	20 Apr 2025	Taylor Simpanen	Petroglyphs Provincial Park (general location)
46.	Ruby-crowned Kinglet <i>Corthylio calendula</i>	2	20 Apr 2025	Taylor Simpanen	Petroglyphs Provincial Park (general location)
47.	Golden-crowned Kinglet <i>Regulus satrapa</i>	4	20 Apr 2025	Taylor Simpanen	Petroglyphs Provincial Park (general location)
48.	Dark-eyed Junco <i>Junco hyemalis</i>	2	20 Apr 2025	Taylor Simpanen	Petroglyphs Provincial Park (general location)
49.	Canada Goose <i>Branta canadensis</i>	1	22 Mar 2025	C Douglas	Petroglyphs Provincial Park (general location)
50.	Wild Turkey <i>Meleagris gallopavo</i>	1	22 Mar 2025	C Douglas	Petroglyphs Provincial Park (general location)
51.	Pine Siskin <i>Spinus pinus</i>	2	18 Mar 2025	Jason Smyrlis	Petroglyphs Provincial Park (general location)
52.	Cedar Waxwing <i>Bombycilla cedrorum</i>	1	4 Jan 2025	Fiona McKay	Petroglyphs Provincial Park (general location)
53.	Red-tailed Hawk <i>Buteo jamaicensis</i>	1	28 Dec 2024	C Douglas	Petroglyphs Provincial Park (general location)
54.	Red Crossbill <i>Loxia curvirostra</i>	1	28 Dec 2024	C Douglas	Petroglyphs Provincial Park (general location)
55.	Bald Eagle <i>Haliaeetus leucocephalus</i>	1	21 Dec 2024	Jake Nafziger	Petroglyphs Provincial Park (general location)

56.	American Tree Sparrow <i>Spizelloides arborea</i>	2	19 Dec 2024	Jake Nafziger	Petroglyphs Provincial Park (general location)
57.	Turkey Vulture <i>Cathartes aura</i>	2	17 Jul 2024	Jelmer Poelstra	Petroglyphs Provincial Park (general location)
58.	Osprey <i>Pandion haliaetus</i>	1	17 Jul 2024	Jelmer Poelstra	Petroglyphs Provincial Park (general location)
59.	Sharp-shinned Hawk <i>Accipiter striatus</i>	1	17 Jul 2024	Jelmer Poelstra	Petroglyphs Provincial Park (general location)
60.	Eastern Wood-Pewee <i>Contopus virens</i>	1	17 Jul 2024	Jelmer Poelstra	Petroglyphs Provincial Park (general location)
61.	Red-eyed Vireo <i>Vireo olivaceus</i>	10	17 Jul 2024	Jelmer Poelstra	Petroglyphs Provincial Park (general location)
62.	Eastern Towhee <i>Pipilo erythrophthalmus</i>	1	17 Jul 2024	Jelmer Poelstra	Petroglyphs Provincial Park (general location)
63.	Common Grackle <i>Quiscalus quiscula</i>	1	17 Jul 2024	Jelmer Poelstra	Petroglyphs Provincial Park (general location)
64.	Mourning Dove <i>Zenaida macroura</i>	1	13 Jul 2024	Anonymous eBirder	Petroglyphs Provincial Park (general location)
65.	Black-billed Cuckoo <i>Coccyzus erythrophthalmus</i>	1	13 Jul 2024	Anonymous eBirder	Petroglyphs Provincial Park (general location)
66.	Eastern Whip-poor-will <i>Antrostomus vociferus</i>	1	13 Jul 2024	Anonymous eBirder	Petroglyphs Provincial Park (general location)
67.	Field Sparrow <i>Spizella pusilla</i>	1	13 Jul 2024	Anonymous eBirder	Petroglyphs Provincial Park (general location)
68.	Blackburnian Warbler <i>Setophaga fusca</i>	1	13 Jul 2024	Anonymous eBirder	Petroglyphs Provincial Park (general location)
69.	Chestnut-sided Warbler <i>Setophaga pensylvanica</i>	1	13 Jul 2024	Anonymous eBirder	Petroglyphs Provincial Park (general location)
70.	Virginia Rail <i>Rallus limicola</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
71.	Ring-billed Gull <i>Larus delawarensis</i>	3	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)

72.	American Herring Gull <i>Larus smithsonianus</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
73.	Green Heron <i>Butorides virescens</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
74.	Alder Flycatcher <i>Empidonax alnorum</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
75.	Eastern Kingbird <i>Tyrannus tyrannus</i>	2	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
76.	Yellow-throated Vireo <i>Vireo flavifrons</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
77.	Warbling Vireo <i>Vireo gilvus</i>	2	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
78.	Barn Swallow <i>Hirundo rustica</i>	2	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
79.	Northern House Wren <i>Troglodytes aedon</i>	2	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
80.	European Starling <i>Sturnus vulgaris</i>	* 7	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
81.	Baltimore Oriole <i>Icterus galbula</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
82.	Brown-headed Cowbird <i>Molothrus ater</i>	2	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
83.	Magnolia Warbler <i>Setophaga magnolia</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
84.	Yellow Warbler <i>Setophaga petechia</i>	2	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
85.	Scarlet Tanager <i>Piranga olivacea</i>	2	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
86.	Northern Cardinal <i>Cardinalis cardinalis</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)
87.	Indigo Bunting <i>Passerina cyanea</i>	1	15 Jun 2024	Dave Milsom	Petroglyphs Provincial Park (general location)

88.	Wood Thrush <i>Hylocichla mustelina</i>	1	12 May 2024	Mike Norton	Petroglyphs Provincial Park (general location)
89.	American Goshawk <i>Astur atricapillus</i>	1	15 Jan 2024	Dave Milsom	Petroglyphs Provincial Park (general location) 
90.	Sandhill Crane <i>Antigone canadensis</i>	51	8 Nov 2023	C Douglas	Petroglyphs Provincial Park (general location) 
91.	Belted Kingfisher <i>Megaceryle alcyon</i>	1	28 Sep 2023	Carling Dewar	Petroglyphs Provincial Park (general location)
92.	White-crowned Sparrow <i>Zonotrichia leucophrys</i>	1	23 Sep 2023	Randy Mclin	Petroglyphs Provincial Park (general location)
93.	Peregrine Falcon <i>Falco peregrinus</i>	1	23 Sep 2023	Scott Gibson	Petroglyphs Provincial Park (general location) 
94.	Northern Parula <i>Setophaga americana</i>	1	23 Sep 2023	Matthew Garvin	Petroglyphs Provincial Park (general location)
95.	Bay-breasted Warbler <i>Setophaga castanea</i>	1	23 Sep 2023	Andrew Keaveney	Petroglyphs Provincial Park (general location)
96.	Philadelphia Vireo <i>Vireo philadelphicus</i>	1	16 Sep 2023	C Douglas	Petroglyphs Provincial Park (general location)  
97.	Gray-cheeked Thrush <i>Catharus minimus</i>	1	16 Sep 2023	C Douglas	Petroglyphs Provincial Park (general location)
98.	Palm Warbler <i>Setophaga palmarum</i>	1	16 Sep 2023	C Douglas	Petroglyphs Provincial Park (general location)
99.	Canada Jay <i>Perisoreus canadensis</i>	2	2 Aug 2023	Leo Weiskittel	Petroglyphs Provincial Park (general location) 
100.	Wood Duck <i>Aix sponsa</i>	2	16 Apr 2023	C Douglas	Petroglyphs Provincial Park (general location)
101.	Red-shouldered Hawk <i>Buteo lineatus</i>	1	16 Apr 2023	C Douglas	Petroglyphs Provincial Park (general location)
102.	Evening Grosbeak <i>Coccothraustes vespertinus</i>	20	8 Feb 2023	C Douglas	Petroglyphs Provincial Park (general location)
103.	Barred Owl <i>Strix varia</i>	1	23 Oct 2022	Kayla Martin	Petroglyphs Provincial Park (general location)


104.	Common Loon <i>Gavia immer</i>	1	21 Jul 2022	Keith Matthieu	Petroglyphs Provincial Park (general location)	 
105.	Rock Pigeon <i>Columba livia</i>	* 1	4 Jun 2022	Joël Coutu	Petroglyphs Provincial Park (general location)	
106.	American Redstart <i>Setophaga ruticilla</i>	1	4 Jun 2022	Joël Coutu	Petroglyphs Provincial Park (general location)	
107.	Bohemian Waxwing <i>Bombycilla garrulus</i>	8	25 Jan 2022	Peter Hogenbirk	Petroglyphs Provincial Park (general location)	
108.	Pine Grosbeak <i>Pinicola enucleator</i>	1	25 Jan 2022	Peter Hogenbirk	Petroglyphs Provincial Park (general location)	
109.	Redpoll <i>Acanthis flammea</i>	10	25 Jan 2022	Peter Hogenbirk	Petroglyphs Provincial Park (general location)	
110.	Golden Eagle <i>Aquila chrysaetos</i>	2	23 Jan 2022	David Britton	Petroglyphs Provincial Park (general location)	
111.	White-winged Crossbill <i>Loxia leucoptera</i>	2	23 Jan 2022	David Britton	Petroglyphs Provincial Park (general location)	
112.	Northern Shrike <i>Lanius borealis</i>	1	7 Dec 2021	Henrique Pacheco	Petroglyphs Provincial Park (general location)	 
113.	Fox Sparrow <i>Passerella iliaca</i>	1	24 Oct 2021	Brendan Boyd	Petroglyphs Provincial Park (general location)	
114.	Least Flycatcher <i>Empidonax minimus</i>	1	15 Aug 2021	Ella F	Petroglyphs Provincial Park (general location)	
115.	American Woodcock <i>Scolopax minor</i>	1	24 Sep 2020	Matthew Tobey	Petroglyphs Provincial Park (general location)	
116.	Yellow-billed Cuckoo <i>Coccyzus americanus</i>	1	15 Jul 2020	David Bree	Petroglyphs Provincial Park (general location)	
117.	Pied-billed Grebe <i>Podilymbus podiceps</i>	1	15 Jul 2020	David Bree	Petroglyphs Provincial Park (general location)	
118.	Gray Catbird <i>Dumetella carolinensis</i>	1	14 Jul 2020	Dave Milsom	Petroglyphs Provincial Park (general location)	
119.	Brown Thrasher <i>Toxostoma rufum</i>	1	25 Jun 2020	Dave Milsom	Petroglyphs Provincial Park (general location)	

120.	Tree Swallow <i>Tachycineta bicolor</i>	2	18 Jun 2020	Dave Milsom	Petroglyphs Provincial Park (general location)
121.	Great Horned Owl <i>Bubo virginianus</i>	1	4 Jan 2020	C Douglas	Petroglyphs Provincial Park (general location) 
122.	Black-backed Woodpecker <i>Picoides arcticus</i>	1	20 Dec 2019	Donald A. Sutherland	Petroglyphs Provincial Park (general location) 
123.	Canada Warbler <i>Cardellina canadensis</i>	1	9 Aug 2019	Matthew Tobey	Petroglyphs Provincial Park (general location)
124.	Cooper's Hawk <i>Astur cooperii</i>	1	18 Apr 2019	Ben Taylor	Petroglyphs Provincial Park (general location)
125.	Snow Bunting <i>Plectrophenax nivalis</i>	1	7 Nov 2018	Ben Taylor	Petroglyphs Provincial Park (general location) 
126.	Blackpoll Warbler <i>Setophaga striata</i>	1	19 May 2018	Joël Coutu	Petroglyphs Provincial Park (general location)
127.	Red-bellied Woodpecker <i>Melanerpes carolinus</i>	2	29 May 2017	Taryn Lourie	Petroglyphs Provincial Park (general location)
128.	Swainson's Thrush <i>Catharus ustulatus</i>	1	22 May 2017	David Bree	Petroglyphs Provincial Park (general location) 
129.	American Black Duck <i>Anas rubripes</i>	1	13 Apr 2017	Luke Berg	Petroglyphs Provincial Park (general location)  
130.	Common Merganser <i>Mergus merganser</i>	1	9 Jul 2016	Plamen Peychev	Petroglyphs Provincial Park (general location)
131.	Killdeer <i>Charadrius vociferus</i>	1	9 Jul 2016	Plamen Peychev	Petroglyphs Provincial Park (general location)
132.	Northern Harrier <i>Circus hudsonius</i>	1	9 Jul 2016	Plamen Peychev	Petroglyphs Provincial Park (general location)
133.	American Bittern <i>Botaurus lentiginosus</i>	1	22 May 2015	Donald A. Sutherland	Petroglyphs Provincial Park (general location) 
134.	Tennessee Warbler <i>Leiothlypis peregrina</i>	1	22 May 2015	Donald A. Sutherland	Petroglyphs Provincial Park (general location) 

135.	Spotted Sandpiper <i>Actitis macularius</i>	1	23 May 2013	Donald A. Sutherland	Petroglyphs Provincial Park (general location)
136.	Common Goldeneye <i>Bucephala clangula</i>	1	15 Nov 2011	Brendan Boyd	Petroglyphs Provincial Park (general location)
137.	Merlin <i>Falco columbarius</i>	1	26 May 2010	Donald A. Sutherland	Petroglyphs Provincial Park (general location) 
138.	Wilson's Warbler <i>Cardellina pusilla</i>	X	19 May 2007	Michael Butler	Petroglyphs Provincial Park (general location)
139.	Purple Martin <i>Progne subis</i>	2	29 Apr 2007	Donald A. Sutherland	Petroglyphs Provincial Park (general location)
140.	American Kestrel <i>Falco sparverius</i>	X	8 Apr 2006	James Scott	Petroglyphs Provincial Park (general location)
141.	Solitary Sandpiper <i>Tringa solitaria</i>	2	25 Aug 2001	David Bree	Petroglyphs Provincial Park (general location) 
142.	Common Nighthawk <i>Chordeiles minor</i>	X	24 Jul 2001	David Bree	Petroglyphs Provincial Park (general location) 
143.	Marsh Wren <i>Cistothorus palustris</i>	1	24 May 2001	David Bree	Petroglyphs Provincial Park (general location) 
144.	Olive-sided Flycatcher <i>Contopus cooperi</i>	1	18 May 2001	David Bree	Petroglyphs Provincial Park (general location) 
145.	Golden-winged Warbler <i>Vermivora chrysoptera</i>	1	11 May 2001	Donald A. Sutherland	Petroglyphs Provincial Park (general location) 
146.	Cape May Warbler <i>Setophaga tigrina</i>	1	11 May 2001	Donald A. Sutherland	Petroglyphs Provincial Park (general location) 
147.	Wilson's Snipe <i>Gallinago delicata</i>	X	3 May 2001	David Bree	Petroglyphs Provincial Park (general location) 
148.	Rough-legged Hawk <i>Buteo lagopus</i>	1	10 Jan 1999	Geoff Carpentier	Petroglyphs Provincial Park (general location) 
149.	Cerulean Warbler <i>Setophaga cerulea</i>	1	22 Jun 1997	Blake Mann	Petroglyphs Provincial Park (general location) 
150.	Black Tern <i>Chlidonias niger</i>	1	1 Jul 1994	Geoff Carpentier	Petroglyphs Provincial Park (general location) 

151.	American Three-toed Woodpecker <i>Picoides dorsalis</i>	1	14 Feb 1993	Geoff Carpentier	Petroglyphs Provincial Park (general location)	
152.	Boreal Chickadee <i>Poecile hudsonicus</i>	2	14 Mar 1987	David Beadle	Petroglyphs Provincial Park (general location)	
153.	Eastern Bluebird <i>Sialia sialis</i>	1	2 Jul 1983	Geoff Carpentier	Petroglyphs Provincial Park (general location)	
154.	Mourning Warbler <i>Geothlypis philadelphia</i>	1	2 Jul 1983	Geoff Carpentier	Petroglyphs Provincial Park (general location)	

HYBRIDS (1)

	Brewster's Warbler (hybrid) <i>Vermivora chrysoptera x cyanoptera (F1 hybrid)</i>	1	6 Jun 1984	Geoff Carpentier	Petroglyphs Provincial Park (general location)	
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ADDITIONAL TAXA (17)

	woodpecker sp. <i>Picidae sp.</i>	1	18 Dec 2024	Jake Nafziger	Petroglyphs Provincial Park (general location)	
	eagle sp. <i>Accipitridae sp. (eagle sp.)</i>	1	8 Nov 2023	C Douglas	Petroglyphs Provincial Park (general location)	
	Catharus sp. <i>Catharus sp.</i>	1	23 Sep 2023	Mark Field	Petroglyphs Provincial Park (general location)	
	nuthatch sp. <i>Sitta sp.</i>	1	15 Jun 2022	Ana Luisa Santo	Petroglyphs Provincial Park (general location)	
	hawk sp. <i>Accipitridae sp. (hawk sp.)</i>	1	30 Dec 2021	Fiona McKay	Petroglyphs Provincial Park (general location)	
	Sharp-shinned/Cooper's Hawk <i>Accipiter striatus/Astur cooperii</i>	1	14 Nov 2020	Gerry Bird	Petroglyphs Provincial Park (general location)	
	new world warbler sp. <i>Parulidae sp.</i>	2	30 Sep 2020	C Douglas	Petroglyphs Provincial Park (general location)	
	falcon sp. <i>Falco sp.</i>	1	22 Dec 2019	Andrew Don	Petroglyphs Provincial Park (general location)	

crossbill sp. <i>Loxia</i> sp.	2	17 Dec 2019	Ben Taylor	Petroglyphs Provincial Park (general location)
passerine sp. <i>Passeriformes</i> sp.	7	14 Aug 2019	Peter Scholtens	Petroglyphs Provincial Park (general location)
duck sp. <i>Anatidae</i> (duck sp.)	2	27 Apr 2019	Matthew Tobey	Petroglyphs Provincial Park (general location)
Downy/Hairy Woodpecker <i>Dryobates pubescens/villosus</i>	3	18 Apr 2019	Ben Taylor	Petroglyphs Provincial Park (general location)
Buteo sp. <i>Buteo</i> sp.	1	19 May 2018	Joël Coutu	Petroglyphs Provincial Park (general location)
finch sp. <i>Fringillidae</i> sp.	1	9 Mar 2018	Iain Rayner	Petroglyphs Provincial Park (general location)
owl sp. <i>Strigiformes</i> sp.	1	15 Jan 2018	Ben Taylor	Petroglyphs Provincial Park (general location)
Ruby-crowned/Golden-crowned Kinglet <i>Corthylio calendula/Regulus satrapa</i>	8	18 Oct 2017	Rene Gareau	Petroglyphs Provincial Park (general location)
new world flycatcher sp. <i>Tyrannidae</i> sp.	2	2 Apr 2016	Rachel Dykeman	Petroglyphs Provincial Park (general location)

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Legend

Species	Date	Count	Grade
<i>Lepidopla chrysoidea</i>	Jan '25	1	Research Grade
Eastern Musk Turtle (<i>Sternotherus odoratus</i>)	Nov '23	7	Research Grade
Midland Painted Turtle (<i>Chrysemys picta marginata</i>)	Jul '21	2	Research Grade
Eastern Musk Turtle (<i>Sternotherus odoratus</i>)	Aug '20	6	Research Grade
Perennial Mason Wasp			

Oak Lake
 Stony Lake
 Long Lake
 Stonyridge
 Stony Lake Rocks RV Resort
 Crowes Landing
 Clarina

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Species list in taxonomic order for square 17QK33

All species

Number of rows of data displayed below: 22.

Species #	Common Name	# of Records	Earliest Yr	Latest Yr
1	Blanding's Turtle	2	1988	2019
3	Midland Painted Turtle	30	1973	2018
4	Northern Map Turtle	4	2009	2018
6	Snapping Turtle	10	1984	2014
12	Eastern Gartersnake	5	1936	1993
13	Eastern Hog-nosed Snake	2	1980	1980
15	Eastern Milksnake	1	2016	2016
18	Northern Ribbonsnake	2	1983	2008
19	Northern Ring-necked Snake	1	2008	2008
20	Northern Watersnake	3	1936	2016
25	American Bullfrog	26	1980	2012
28	Gray Treefrog	20	1980	2009
29	Green Frog	31	1936	2008
31	Northern Leopard Frog	21	1994	2018
33	Spring Peeper	24	1989	2008
34	Western Chorus Frog	29	1996	2012

35	Wood Frog	2	1989	2012
36	American Toad	4	1980	2012
44	Eastern Red-backed Salamander	3	1988	2017
45	Four-toed Salamander	1	2018	2018
53	Spotted Salamander	2	1989	2002
54	Five-lined Skink	6	1936	2009

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Species list in taxonomic order for square 17QK34

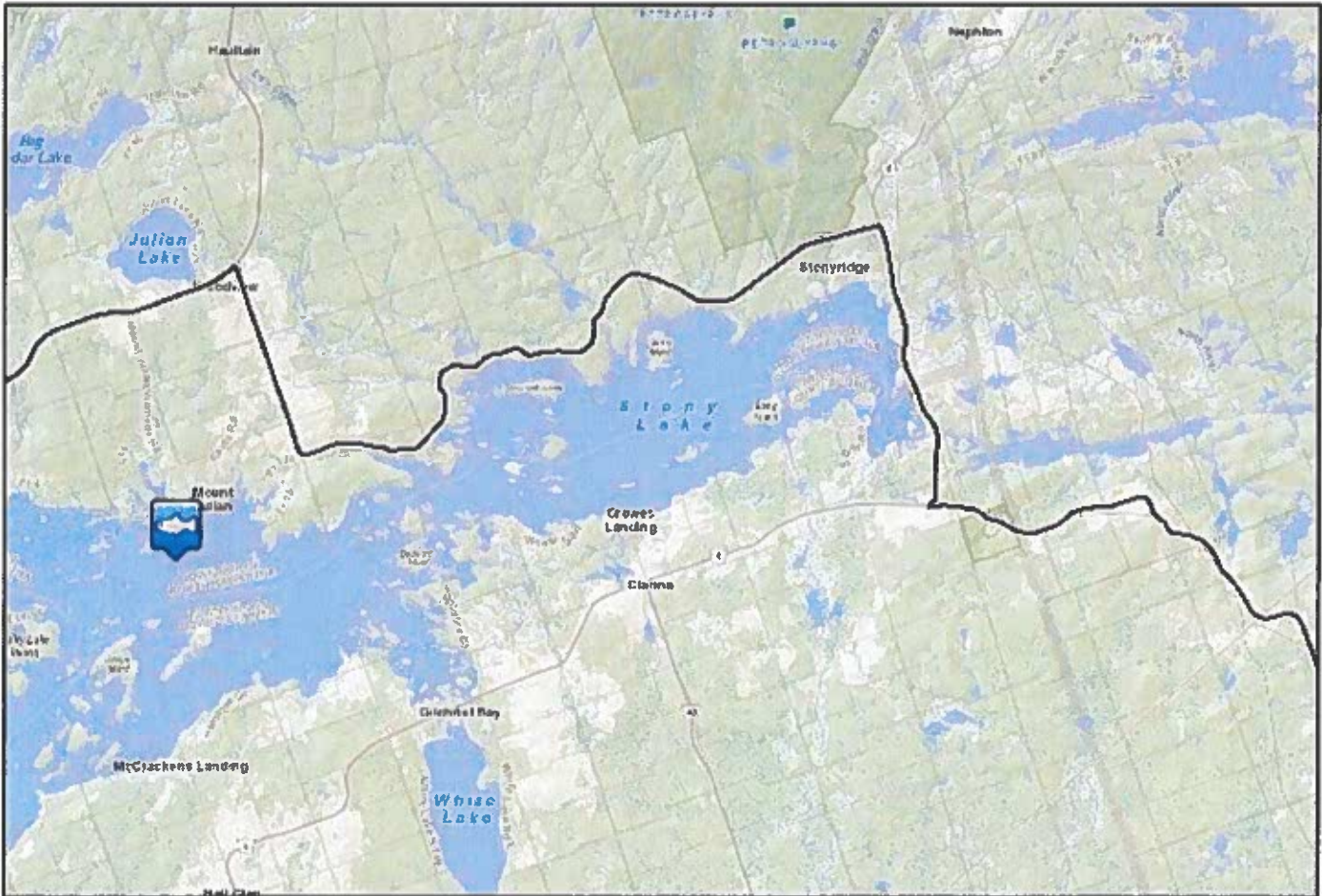
All species

Number of rows of data displayed below: 30.

Species #	Common Name	# of Records	Earliest Yr	Latest Yr
1	Blanding's Turtle	32	1973	2018
2	Eastern Musk Turtle	4	2005	2009
3	Midland Painted Turtle	50	1976	2019
4	Northern Map Turtle	12	2005	2013
6	Snapping Turtle	23	1977	2019
10	Dekay's Brownsnake	3	1990	2000
12	Eastern Gartersnake	24	1976	2018
13	Eastern Hog-nosed Snake	34	1974	2017
15	Eastern Milksnake	8	1975	2015
18	Northern Ribbonsnake	12	1979	2017
19	Northern Ring-necked Snake	5	1977	2019
20	Northern Watersnake	21	1977	2018
22	Red-bellied Snake	6	1972	2010
24	Smooth Greensnake	4	1976	2011
25	American Bullfrog	19	1977	2019
28	Gray Treefrog	24	1977	2018








29	Green Frog	52	1976	2017
30	Mink Frog	22	1977	2011
31	Northern Leopard Frog	28	1977	2019
32	Pickerel Frog	8	1976	2018
33	Spring Peeper	39	1976	2019
34	Western Chorus Frog	28	2000	2019
35	Wood Frog	14	1977	2012
36	American Toad	11	1977	2019
40	Blue-spotted Salamander	1	2017	2017
44	Eastern Red-backed Salamander	5	1977	2019
45	Four-toed Salamander	1	2010	2010
51	Red-spotted Newt	4	1988	2013
53	Spotted Salamander	3	2010	2015
54	Five-lined Skink	69	1970	2018


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Waterbody Information	
Latitude:	44.561599
Longitude:	-78.143434
Surface Area (ha):	2824.9
Maximum Depth (m):	32
Average Depth (m):	5.9
Fisheries Management Zone(s):	17
Bait Management Zone:	Southern BMZ

Legend

	Waterbody		Licence Issuer
	Fish Sanctuary		Fisheries Management Zone
	Lake Depth Contours (m)		Bait Management Zone
	Fishing Access Points		

N 

Fish Species Found in Waterbody

Black Crappie, Bluegill, Brown Bullhead, Burbot, Cisco, Common Carp, Lake Whitefish, Largemouth Bass, Muskellunge, Pumpkinseed, Rainbow Smelt, Rock Bass, Sauger, Smallmouth Bass, Walleye, White Sucker, Yellow Bullhead, Yellow Perch

Appendix C

Species List

Species List

KINGDOM Common Name Scientific Name SARA SARA

Animalia

Black Crappie	Pomoxis nigromaculatus	
Black-capped Chickadee	Poecile atricapillus	
Blue Jay	Cyanocitta cristata	
Bluegill	Lepomis macrochirus	
Common Carp	Cyprinus carpio	
Common Grackle	Quiscalus quiscula	
Common Loon	Gavia immer	NAR
Eastern Phoebe	Sayornis phoebe	
Eastern Tiger Swallowtail	Papilio glaucus	
Great Spangled Fritillary	Speyeria cybele	
Largemouth Bass	Micropterus salmoides	
Pumpkinseed	Lepomis gibbosus	
Red Admiral	Vanessa atalanta	
Rock Bass	Ambloplites rupestris	
Smallmouth Bass	Micropterus dolomieu	
Yellow Perch	Perca flavescens	
Yellow Warbler	Setophaga petechia	

Plantae

Balsam Poplar	Populus balsamifera
Black Locust	Robinia pseudoacacia
Canada Waterweed	Elodea canadensis
Common Burdock	Arctium minus
Common Dandelion	Taraxacum officinale
Common Eelgrass	Zostera marina
Common Hornwort	Ceratophyllum demersum
Common Lilac	Syringa vulgaris

Common Mullein	<i>Verbascum thapsus</i>
Common Plantain	<i>Plantago major</i>
Common Self-heal	<i>Prunella vulgaris</i>
Common Sneezeweed	<i>Helenium autumnale</i>
Common Sow-thistle	<i>Sonchus oleraceus</i>
Common St. John's-wort	<i>Hypericum perforatum</i>
Common Timothy	<i>Phleum pratense ssp. pratense</i>
Common Vetch	<i>Vicia sativa</i>
Common Viper's Bugloss	<i>Echium vulgare</i>
Common Yarrow	<i>Achillea millefolium</i>
Eastern White Cedar	<i>Thuja occidentalis</i>
Eastern White Pine	<i>Pinus strobus</i>
Eurasian Water-milfoil	<i>Myriophyllum spicatum</i>
European Buckthorn	<i>Rhamnus cathartica</i>
Fragrant Water-lily	<i>Nymphaea odorata</i>
Illinois Pondweed	<i>Potamogeton illinoensis</i>
Large-toothed Aspen	<i>Populus grandidentata</i>
Leafy Pondweed	<i>Potamogeton foliosus</i>
Manitoba Maple	<i>Acer negundo</i>
Northern Red Oak	<i>Quercus rubra</i>
Norway Maple	<i>Acer platanoides</i>
Norway Spruce	<i>Picea abies</i>
Paper Birch	<i>Betula papyrifera</i>
Poison Ivy	<i>Toxicodendron radicans</i>
Red Maple	<i>Acer rubrum</i>
Silver Maple	<i>Acer saccharinum</i>
Three-lobed Red Maple	<i>Acer rubrum var. trilobum</i>
Trembling Aspen	<i>Populus tremuloides</i>
Watershield	<i>Brasenia schreberi</i>
White Ash	<i>Fraxinus americana</i>

White Elm

Yellow Birch

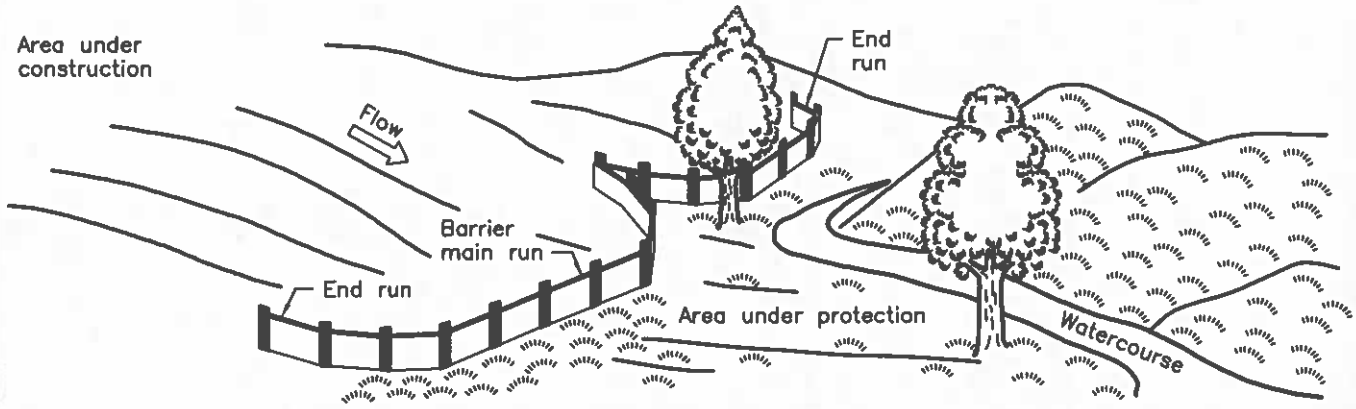
Ulmus americana

Betula alleghaniensis

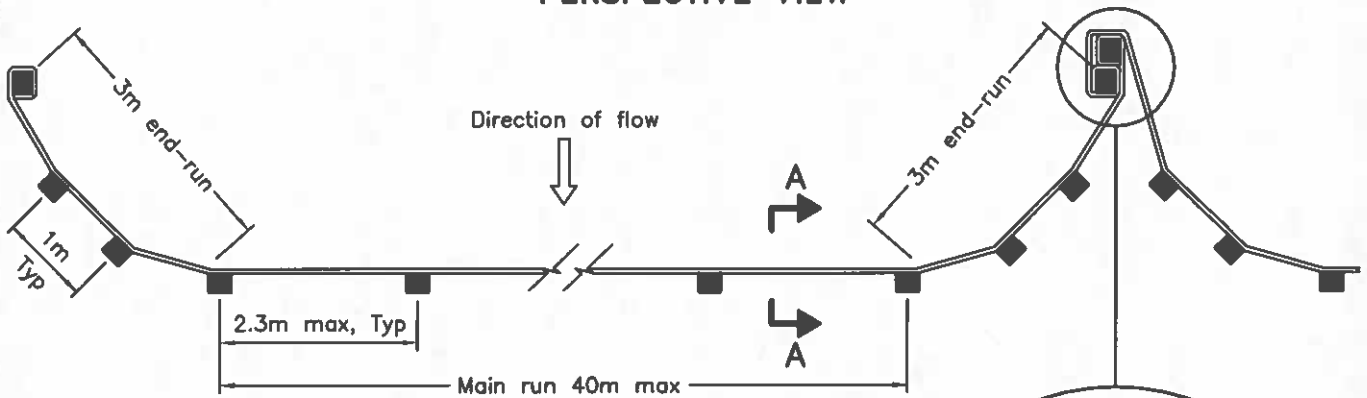
Appendix D

OPSD Light-duty Silt Fence

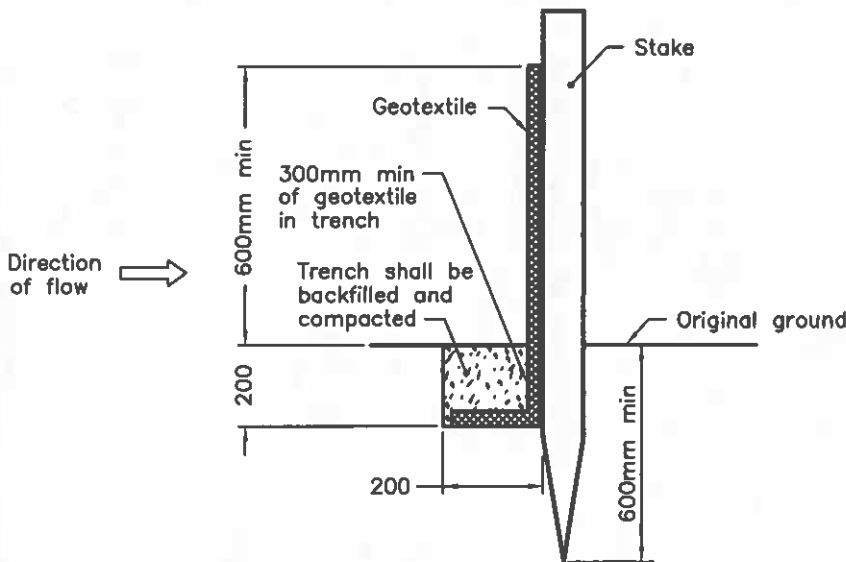
Area under construction



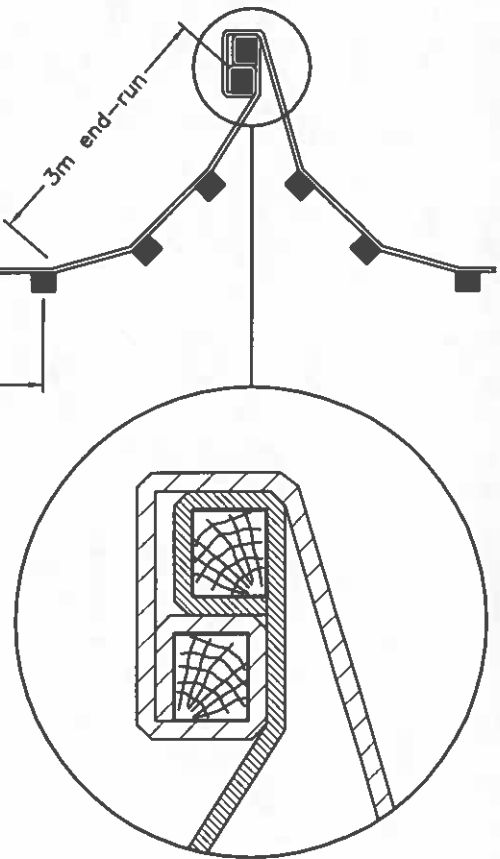
PERSPECTIVE VIEW



PLAN



SECTION A-A



JOINT DETAIL

NOTE:

A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2015

Rev 2

LIGHT-DUTY
SILT FENCE BARRIER



OPSD 219.110



ORE

Oakridge Environmental Limited

Environmental and Hydrogeological Services

December 16th, 2025

618-1888 Bayview Avenue
Toronto, Ontario
M4G 0A7

Attention: **Cheryl Cowie**

Re: Response to Peer Review, *Scoped Environmental Impact Study (sEIS)*
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
Part of Lots 32 & 33, Concession 11 (Dummer)
Township of Douro-Dummer, County of Peterborough
ORE File No. 25-3545

Dear Ms. Cowie:

Oakridge Environmental Ltd. (ORE) is pleased to present this response to the peer review comments provided by Stantec Consulting Ltd. ("Stantec"), on behalf of Peterborough County, dated October 10th, 2025. Stantec's comments pertain to their review of our July 2025 report referenced below:

Scoped Environmental Impact Study (sEIS), Proposed Single Residential Development, 1842 South Bayshore Road East, Stony Lake, Part of Lots 32 & 22, Concession 11 (Dummer), Township of Douro-Dummer, County of Peterborough; Project No. 25-3545; July 24th, 2025.

Our report was intended to demonstrate that a single residential development (with attached garage) could be constructed without impacting nearby Key Natural Heritage Features (KNHF). A scoped assessment was completed, with a focus on nearby sensitive hydrological features, fish and fish habitat. A high level screening for Species at Risk (SAR) was also completed.

For ease of reference, the comments provided in Stantec's peer review letter are quoted below, followed by our response.

Comment #1

"Please note that the ToR was not included into the sEIS, nor was Stantec provided the ToR during the review and therefore, it was not confirmed that the sEIS met the

requirements of the ToR.”

And,

“Desktop studies and background review for wetlands, hydrology and SAR appears suitable for the overall scope of the sEIS. However, please note that there were no targeted wildlife surveys completed in support of the proposed development and in the absence of targeted surveys for SARs, if habitat is determined to be potentially present in the Subject Property, then Stantec assumes there is potential for the species to be utilizing the area.

The purpose and the scope for the sEIS was stated; however, the defined scope did not appear to fully address the commitments of the ToR, nor did the sEIS specifically meet the requirements outlined in the County OP (Section 4.1.3.1) including alternative development proposals and it was not clear what and why the sEIS was scoped.”

Response #1

A pre-consultation letter was prepared by the Township on March 27th, 2025 and states that an EIS must be completed, *“primarily to address the Provincially Significant Wetland (PSW) and waterbody adjacent the subject property.”* In addition, the letter states that *“the expert retained to complete the EIS prepare a terms of reference which the Township could review to ensure satisfactory”*, and that *“An EIS is required to address policy 4.1.8 of the PPS.”*

A proposed scope of work was prepared (by ORE’s Senior Ecologist, Rob West) which was circulated to the Township on June 3, 2025 by the proponent’s Senior Planner, Kevin McKrow, of WND Associates. Mr. McKrow followed-up with the Township through a phone call and it was stated that there were no comments regarding the proposed scope of work. As such, it was reasonably assumed that the proposed scope of work was satisfactory. A copy of the email that was sent by the proponent to the Township and the pre-consultation letter are attached in Appendix A.

The subject property possesses a very cultural-type setting which is not suitable habitat for Threatened or Endangered SAR. The property also does not possess the Ecological Land Classification types included in the Ecoregion 6E SWH criteria for Special Concern species. Given these conditions, it was determined that a single inspection would be sufficient. Therefore, the study was scoped to review the landscaped site and hardened shoreline conditions with respect to removal of the existing dwelling and construction of a single residential development. Nevertheless, ORE staff completed the site inspection with the intent of detecting those SAR observed in the pre-screen database queries.

ORE staff did not conduct multiple targeted inspections to detect Threatened or Endangered species, as the Township had not requested Section 4.1.7 of the PPS be addressed as part of

the scope of work. The Township was specific in their email response with regard to addressing Section 4.1.8 for adjacent lands. Section 4.1.8 of the PPS speaks to natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6, but does not include Endangered or Threatened species.

A scoped study typically does not include various inspections for SAR, especially when the terrestrial areas have already been cleared/alterd and any impact/influence on the PSW/Lake has already occurred. In cases such as this, the sEIS should focus on improving/enhancing the existing site conditions to mitigate historic shoreline clearing practices, as part of the application. Increasing the number of inspections to verify that there are no Threatened, Endangered or Special Concern species would have little to no influence on what can be done on the subject site to improve the conditions for these species.

Similarly, fish habitat associated with the Lake/PSW will only improve via recommended enhancements or improvements. The property owner understands that there are SAR, fish habitat, PSW, etc., associated with the waterway within the adjacent lands. However, if the recommended mitigation measures satisfy/address Section 4.1.8 of the PPS, we would argue that those enhancement measures will improve conditions for the SAR, resulting in a net benefit to those species.

ORE staff are unsure as to why the scope of work was not circulated to the County with respect to scoping the EIS. In any case, it was clear that a SAR component was not a requirement. As such, it is our opinion that the one (1) site inspection was sufficient to determine whether the new development would have any negative impact on those hydrological features in the adjacent lands, as defined via the scoping exercise with the Township and them asking us to satisfy Section 4.1.8 in PPS.

In regards to the County OP (Section 4.1.3.1) including alternative development proposals, ORE staff reviewed the proposal in the context that the proposed dwelling does not represent a negative impact on the subject property as the current development's location does not represent a negative impact to the adjacent waterway. Our analysis also included a review of the conditions between the existing residence and the shoreline. An alternative location would have been presented to the proponent, if the site possessed a natural shoreline and an existing protective vegetated buffer were present. In that case, locating the proposed dwelling further back from the shoreline would have made sense. However, the site does not possess any natural vegetated surfaces that would warrant maintaining a larger setback from the shoreline.

It is also our opinion that even if a 10 m or 15 m setback had been recommended, the existing owner would likely continue the existing lawn maintenance practices between the lakeshore and proposed development. As there is no applicable tree-cutting bylaw, it is possible that any future new property owners could remove the remaining trees to improve the lake vistas from

the new dwelling's location if it were constructed further back from the shoreline.

By allowing the dwelling to be located in its currently proposed location, the building envelope moves back from shoreline, maintains the existing views, and the sEIS can recommend improvements/enhancements, that will improve the overall ecological function of the property, thereby having a direct benefit to the adjacent lands features.

Comment #2

“In consideration of Section 4.1.8 of the PPS, analysis of the potential impacts from expanding the footprint within 30 m of Stony Lake and the PSW may have on the adjacent land does not appear to be comprehensive including areas which will be impacted and areas which may result in enhancement. It’s Stantec’s opinion that the sEIS does not suitably demonstrate conformance with Section 4.1.8 of the PPS.”

Response #2

The sEIS demonstrated that constructing the new residence in the area of the existing dwelling will not impact Stony Lake nor the PSW. In fact, the shoreline distance to the unit will be increased and compensatory native trees will be planted to potentially off-set the removal of three (3) to five (5) mature trees (001 - confirmed; 002 - confirmed; 003 - to be confirmed; 018 - to be confirmed and 036 - confirmed), according to Landscape Plan. The reader is referred to the Landscape Plan to identify the location of the “confirmed” and “to be confirmed” tree removals and why they are referred to as such. The proposed dwelling represents a short-term construction impact - it does not represent a residual impact to the lake and PSW, as there is already a dwelling on-site overlooking the lake. Once the site alteration area is secure and vegetation is established on the surface, it only becomes a visible feature on the landscape, similar to the existing cottage/dwelling.

As illustrated in the proponent’s plan, the septic system can be located outside the 30 m setback, which is the predominant residual (potential) impact feature on the property. By locating the septic system outside the 30 m setback, the distance to the lakeshore will be increased, achieving double the effluent path length in comparison to what is required by the Ontario Building Code (15 m). This type of measure, is what improves the overall condition of the site in relation to the Lake/PSW.

A revised constraints plan (Figure 6r) is included at the end of this response that includes a 30 m setback distance from the highwater mark. The area outside the 30 m setback is relatively narrow and would not contain both the proposed dwelling and the new septic system due to the property being a point-of-land and surrounded by Lake and PSW. Therefore, it is impossible for this site to demonstrate conformance with Section 4.1.8 of the PPS by

maintaining a 30 m distance to any/all development/site alterations on-site.

That being said, if we take a “least impact” approach, it would likely be best for the new dwelling to utilize the existing dwelling’s footprint entirely, rather than clear more vegetation (trees and lawn) to establish a new stand-alone dwelling envelope. If the footprint is removed entirely from where it is (i.e., to maximize the distance to the lakeshore), it will create a new disturbed area elsewhere on-site, albeit somewhat further removed from the lakeshore. If the point were entirely treed, we would recommend utilizing as much of the existing dwelling’s footprint to mitigate tree loss. However, considering the site has sporadic trees and the lakeshore report card is relatively poor, the location of the proposed dwelling is not overly relevant, as it will replace an existing structure. In any case, since the proposed location of the dwelling is further back from the shoreline than the existing structure is, the proposed development still represents an overall improvement to the existing condition on the property.

Comment #3

“There does not appear to be potential direct impacts to hydrological features on the lot; however, the overall disturbance within 30 m of Stony Lake and the PSW has increased from the existing development. The SAR assessment identified turtles (both SOCC and SAR turtles), which may potentially be utilizing the property and impacts to which need to be mitigated. However, there were no targeted surveys completed in support of the proposed development, and no consultation with the Ministry of the Environment, Conservation and Parks (MECP) is recommended in the sEIS; therefore Stantec is unable to determine that the sEIS is in conformance with Section 4.1.7 of the PPS regarding Threatened and Endangered species.”

Response #3

As mentioned earlier in Response #1, the Township specified that Section 4.1.8 of the PPS needed to be addressed in a *scoped* EIS, which does not include multiple surveys to detect Threatened and Endangered species.

If the proponent is willing to concede that SAR turtles are present within Stony Lake and enhance/improve the site conditions for them to nest on-site, then there is no need for MECP to be contacted. The disturbed area resulting from the proposed residence will not remove nesting habitat for SAR Turtles as the lawn area is available throughout the subject property and on numerous cottage properties on Stony Lake.

The subject site possesses both a man-made beach and 236 m of maintained lawn/hardened shoreline. ORE staff did not observe any turtle nests or shells on the property, suggesting

that turtles do not utilize the subject property for nesting purposes. Moreover, it is clear that the waterway is not the primary habitat of Blanding's Turtle, as it lacks the emergent vegetation. Regardless, if standard construction measures are applied that exclude turtles from entering the disturbed areas, they could continue to nest on-site during the construction period if they choose, without negative impacts. Once the new building is constructed, there would still be an abundance of lawn and beach materials to nest within on-site, if Blanding's Turtle so chooses.

As mentioned above, it is physically not possible to locate both the proposed larger dwelling and a new septic system outside the 30 m setback. It is ORE's opinion that the septic system represents more of a risk to any SAR turtles such as Blanding's Turtle than the larger dwelling would, as the septic system represents a potential long-term nutrient source to the lake which could incrementally impact the SAR turtles no matter where their primary habitat occurs in Stony Lake.

If the size of the development is an issue/concern, then additional compensatory trees could be planted to mitigate the larger footprint. Again, the planting of native trees and vegetation on a highly disturbed open property would benefit the turtles/wildlife associated with the lake/PSW.

Comment #4

"SAR was screened as part of the scope of the sEIS. Stantec acknowledges that in Section 12.1 (Development Envelopes and Constraints) indicated: "ORE staff did not identify any SAR on the subject site, within the waterways, or on neighbouring lands. All the species observed or overheard during the site inspection were common / secure species and not listed within either the SAR pre-screen databases or the SAR Ontario website. Therefore, it is not necessary to contact the Ministry of Environment, Conservation and Parks (MECP) to determine if there are any Endangered Species Act (ESA) 2007 requirements for the Development". However, only one site assessment was completed which appeared to be in the afternoon of June 30, 2025. No targeted surveys appeared to have been completed in support of the sEIS. Please note that SAR bats were not discussed in the sEIS. There are now seven (7) species listed as Endangered under the ESA 2007. Turtles were identified as potentially nesting on the property with Blanding's Turtle considered a protected species and ESA requirements. Stantec recommends that based on the lack of targeted surveys for SARs, potential for turtles to nest on the property and that bats were not discussed as part of the sEIS, consultation via an information gathering form (IGF) be considered."

Response #4

SAR bats are addressed in Response #5 below.

ORE staff agree that certain SAR turtles may incidentally occur within the PSW/Stony Lake off-shore areas from time to time. However, there was no evidence that the terrestrial areas or shoreline/off-shore area around the point-of-land is being used by any SAR Turtles as their primary habitat, as they were not observed in the waterway adjacent to the site. The lack of bottom vegetation in the nearshore area and emergent vegetation along the shore is likely why SAR Turtles such as Blanding's were not observed in the area of the subject property. The hardened bottom dominated by bedrock and rock rubble combined with the lack of soft muck/mud sediments would make it very difficult for turtles that rely on these conditions to dive and avoid predators. As such, the nearshore/offshore areas around the subject property do not possess suitable habitat for Blanding's Turtle. Consequently, contacting MECP simply because the turtle exists within the lake is not warranted, if there was no evidence of turtle nesting on-site. We already stated above that there is no primary habitat present around the lakeshore in the adjacent lands, therefore, turtles like Blanding's would not be impacted by the proposed new dwelling and septic system.

ORE staff are aware that lawn areas can be utilized by this species to nest and have contacted the Ministry in the past regarding the 30 m setback from nesting areas. However, every lawn area on Stony Lake has the potential to be Blanding's Turtle nesting habitat according to the *General Habitat Description for the Blanding's Turtle (Emydoidea blandingii)*. Therefore, the June 30th site inspection was sufficient to identify whether a turtle(s) recently nested within the subject property during the spring season of 2025. There is no reason to expect that conducting three (3) or more site inspections would identify the type of nesting turtles.

Consequently, the 30 m setback only applies to verified nesting sites of Blanding's Turtle. Furthermore, the ESA has recently changed to include protection measures for only the residence of the Threatened or Endangered species, and does not protect the habitat, unless the SAR has been directly observed or there is evidence to support the species being present. This is why we recommended the exclusion measures, rather than applying setbacks to known nesting locations or areas of confirmed habitat. That being said, the entire hardened shoreline condition likely factors into why turtles are excluded from entering the property, other than in the beach area which does not possess the rock-lined shoreline erosion measures. The beach will be unaffected by the proposed development and continue to be available for nesting turtles.

The only turtle species that could utilize the area off-shore of the subject property on a regular basis would be Northern Map Turtle, as it favours rocky shorelines where they can perch on logs, rocks or shoals. However, this species was not observed during the site inspection. Furthermore, it has a status of Special Concern and according to the Significant Wildlife

Habitat Mitigation Support Tool (SWHMiST), avoidance is the main objective. This can be achieved on-site via the existing proposal and the recommended measures to exclude this species during construction.

Comment #5

“Section 12.2 (Construction Mitigations) identified measures to reduce potential impacts related to vegetation and tree clearing / removal, and to migratory birds; however, there was no reference to potential impacts imposed upon SAR bats and / or mitigation measures. There appears to be some large trees which may require removal which is unclear if they could act as bat roosting habitat and / or require mitigation prior to clearing.”

Response #5

The proposed tree compensation in the sEIS would address the SAR bat and bat roosting concern with respect to bat roosting tree loss.

Furthermore, the proponent recently forwarded an October 2025 - Landscape Plan prepared by Kevin R. Post (Landscape Architect), that includes a tree preservation/removal illustration. According to the Plan, the trees to be removed are in good to fair condition, suggesting they are not considered snags. The only poor quality tree was a White Ash, that was likely impacted by the Emerald Ash Borer. ORE staff did not note any trees that contain cavities or loose bark.

The sEIS states that:

The contractor should identify how many trees in this area must be removed and apply the 5:1 compensatory tree ratio. The compensatory trees should be planted either within the floodplain or just outside the floodplain to naturalize the shoreline and enhance / improve the overall waterfront conditions.

The Landscape Plan also states that three (3) confirmed trees will be removed with the potential for two (2) more (depending on construction) as part of the tree expert's recommendations. For this purpose of this response, all five (5) trees (confirmed and conditional) will be replaced by thirty (30) compensatory native trees that can be planted proximal to the shoreline. The Landscape Plan illustrates a total of thirty (30) new native trees being planted to off-set the development proposal, which exceeds the 5:1 ratio.

The sEIS also states that the compensatory trees should be planted overlooking the shoreline areas which would ameliorate access the lake and PSW by bats for foraging purposes. The

compensatory trees can also be selected to include species that possess rough/furrowed bark.

To address the SAR bat and/or roosting bat concern, the “no tree/vegetation removal period” (which includes the Migratory/Breeding Bird Period - April 1st to August 31st each year) should extend to the end of November with respect to clearing trees. The intent is that roosting bats (common/secure or SAR status bats) would not be utilizing the trees between December and April 1st each year. The trees could be removed without impacting roosting bats as they would have returned to their hibernacula.

Additionally, the property owners could install two (2) bat rocket boxes overlooking the waterway to provide roosting habitat in the interim, while the compensatory native trees grow to a size where roosting is feasible.

The supplementary recommendations above typically satisfy MECP in regards to SAR bat concerns for subdivision applications.

Comment #6

“There is no recommended setback from the ordinary high-water mark of the proposed development. The sEIS only indicates that development will not occur within the floodplain identified by ORCA. Furthermore Section 12.1 indicates that: “Tree removal near, or at the shore also removed canopy cover which can open the spawning area to direct sunlight and sterilize fish spawning areas in the nearshore / littoral zone due to thermal impacts.” The development is proposed to encroach within approximately 8 m (as per Appendix A). Based on the site plan in Appendix A, it is unclear what specific tree removal is required and what sort of setback would be considered as retaining trees near Stony Lake.”

Response #6

There are so few trees in the area of the existing dwelling that removing a few will not sterilize the shoreline of fish spawning. The canopy cover during certain times of the day would cover about 14% of the total shoreline length, which is not significant. The majority of the taller trees that possess broad canopies will remain intact along the shoreline.

A Landscape Plan was recently provided by the proponent and a total of three (3) trees would be removed to allow for the building envelope of the new dwelling with the potential for two (2) others to be removed depending on excavations/grading, etc. The three (3) confirmed trees include an Eastern White Cedar, a Red Maple and a Paper Birch, the latter two (2) that may be conditionally removed are two (2) Eastern White Pine. For this purpose of this response, all five (5) trees (confirmed and conditional) will be replaced by twenty-five (25) native trees that

can be planted along the shoreline, creating a much improved condition for near-shore spawners. Consequently, the outcome for spawning fish and shoreline related wildlife will be considerably better. The Landscape Plan includes thirty (30) compensatory native tree plantings, which exceeds the 5:1 ratio recommendation in the EIS.

In regards to there being no setback from the highwater mark, applying a setback makes sense when there is an existing vegetated buffer to protect between the lakeshore and existing dwelling/proposed dwelling. In this instance, there is no vegetation buffer, only some sporadic mature tree species alongside the existing residence. The area between the existing residence and shore is mowed lawn and stone-lined erosion control. As such, the only potential negative impacts to the Lake/PSW would be associated with disturbances during the construction stage. Provided the building envelope is entirely constrained by standard construction Erosion Sedimentation Control (ESC) measures, the proposed dwelling will not negatively impact the lake/PSW.

The new dwelling is to be situated 3 m to 3.5 m further away from the highwater mark than the existing cottage/structure, which is an overall improvement. The fact that it remains outside the flood elevation is the more important criteria.

The sEIS considers the fact that the dwelling cannot be situated outside the 30 m setback, given the site's spatial limitations. Our report also takes into account the denuded conditions of the subject site. As such, provided the new residence is not constructed any closer to the lakeshore along with the recommended mitigation measures, it will be an overall improvement.

Comment #7

"In Section 12.1, the sEIS suggests the use of silt fence to also be utilized as a turtle exclusion fence. However, as per the recommended Reptile and Amphibian Exclusion Fencing (<https://www.ontario.ca/page/reptile-and-amphibian-exclusion-fencing>) the smooth face of the fence should face the water features and sediment fence should be installed in the opposite direction. Therefore, a sediment fence and an exclusion fence should both be installed if necessary."

Response #7

Considering the site is a point-of-land that juts out into Stony Lake, the exclusion fence would have to occur on all three (3) sides and not just the end. Therefore, we recommend installing heavy-duty silt fence to enclose the disturbed areas which include the building envelope for the proposed dwelling and the septic installation area. Given the added expense of heavy-duty silt fence to the project, ORE staff recommend renting or obtaining a single length of fence

that could be applied to the proposed dwelling's envelope, and once construction is sufficiently advanced, relocate the fence and apply it around the septic system location. Heavy-duty silt fence is an acceptable interim measure listed within the province's Reptile and Amphibian Exclusion Fencing website.















We trust that the preceding will address concerns raised by the peer review consultant for the County of Peterborough. Should there be any questions or concerns, please feel free to contact the undersigned.

Yours truly,
Oakridge Environmental Ltd.



Rob West, HBSc.
Senior Ecologist
cc. File, att. Rev. Figure 6
& Appendix A

**Scoped Environmental Impact Study (sEIS)
Proposed Single Residential Development
1842 South Bayshore Road East, Stony Lake
Part of Lots 32 & 33, Concession 11 (Dummer)
Township of Douro-Dummer, County of Peterborough**

-  Approximate Property Boundary
[Peterborough County GIS, 2025]
-  ORCA Floodplain (235.51 m)
[Jason Cutajar, 2025]
-  Shoreline Interface
[ORE, 2025]
-  Proposed Gravel Driveway
(Revised) [Jason Cutajar, 2025]
-  Proposed Dwelling & Garage
(Revised) [Jason Cutajar, 2025]
-  Proposed Septic (Revised)
[Jason Cutajar, 2025]
-  Existing Shed
[Elliott and Parr, 2023]
-  Existing Boathouse
[Elliott and Parr, 2023]
-  Existing Dwelling
[Elliott and Parr, 2023]
-  Recommended Light-duty Silt Fence
(Revised) [ORE, 2025]
-  Wetland (Provincially Significant)
-  30 m Water Setback
[Jason Cutajar, 2025]
-  Road
-  Contour (5 m Intervals)

TITLE
Revised Constraints
[Revision Date - December 4th, 2025]

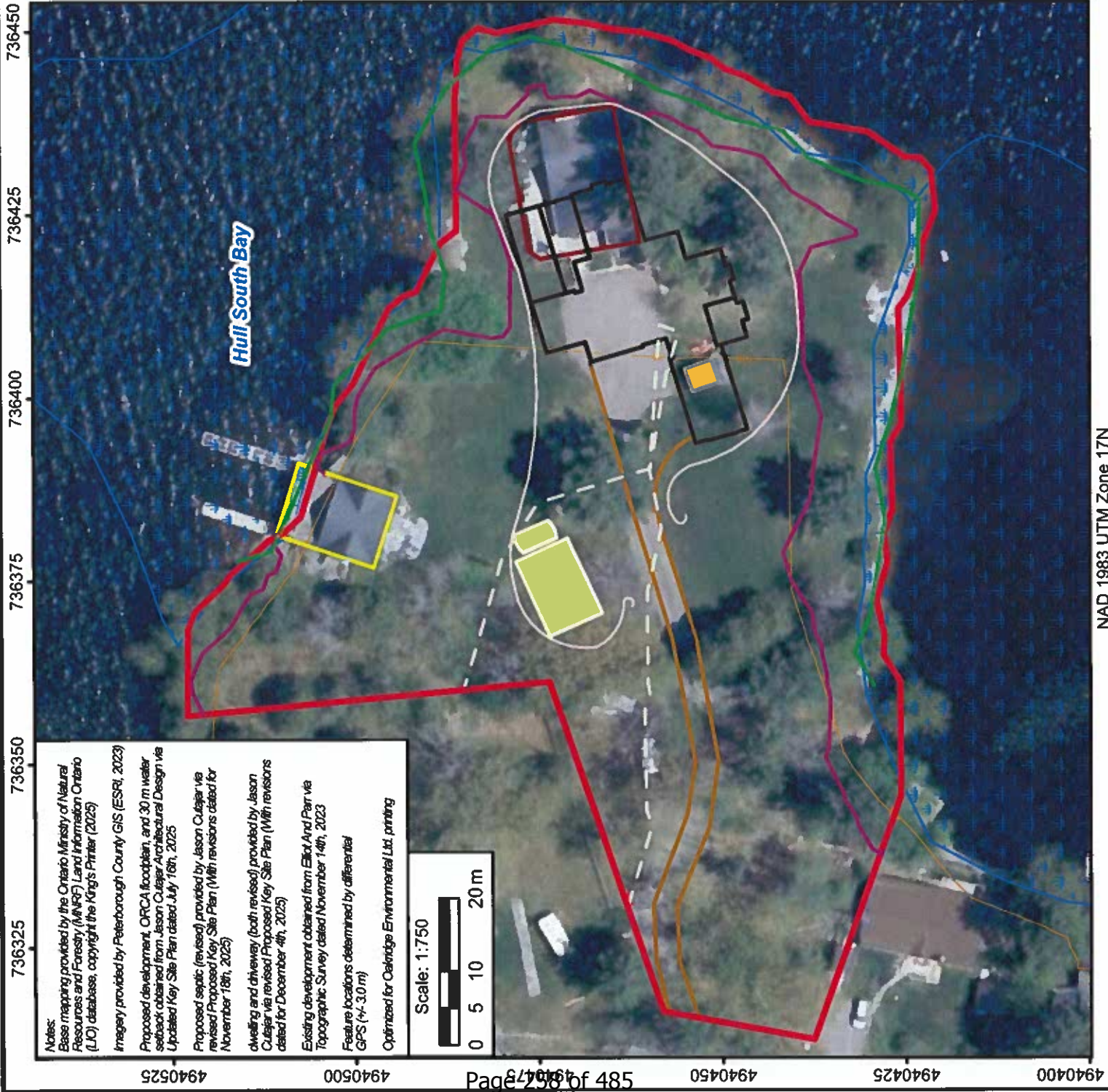


PROJECT #
25-3545

DATE
December 2025

FIGURE NO.

6r



Notes:
Basis mapping provided by the Ontario Ministry of Natural Resources and Forestry (MNRF) Land Information Ontario (LIO) database, copyright the King's Printer (2025)
Imagery provided by Peterborough County GIS (ESRI, 2023)
Proposed development, ORCA floodplain, and 30 m water setback obtained from Jason Cutajar Architectural Design via Updated Key Site Plan dated July 16th, 2025
Proposed septic (revised) provided by Jason Cutajar via revised Proposed Key Site Plan (With revisions dated for November 16th, 2025)
dwelling and driveway (both revised) provided by Jason Cutajar via revised Proposed Key Site Plan (With revisions dated for December 4th, 2025)
Existing development obtained from Elliott and Parr via Topographic Survey dated November 14th, 2023
Feature locations determined by differential GPS (+/- 3.0 m)
Optimized for Oakridge Environmental Ltd. printing



Appendix A

Pre-consultation Notes and Terms of Reference Email

Notes from Pre-consultation Meeting

Roll No.: 1522-020-005-57900

Address: 1842 South Bayshore Road East

Zoning: Limited Service Residential (LSR) & Provincially Significant Wetland (EC(P))

Official Plan Designation: Lakeshore Residential

Meeting Date: March 27, 2025

In attendance: Township Planning Consultants – Diana Keay, Manager, Planning Services, and Kate Steele, Junior Planner, D.M. Wills Associates Ltd.
CBO – Don Helleman
ORCA – Marnie Guindon, Planning & Regulations Officer
Owners/Applicant – Cheryl Cowie, Jess Labelle
Agent: Jason Cutajar, JCAD
Owner Planning Consultant – Kevin McKrow, Senior Planner, WND Associates
Building and Planning Administrator – Jenna Ward

Regrets: MTO – George Taylor
County of Peterborough – Planning, Development, and Public Works Staff

Proposal:

The applicant proposes to demolish the existing one-storey cottage and construct a new, enlarged two-storey cottage in the same vicinity. Given the configuration of the lot, it is not possible to comply with the water setback and position the septic tank in a policy specified location. The homeowner would like to construct the new cottage in the general vicinity of the existing cottage and will require relief from the required water setback.

Comments:

Township:

The Owner's Planning Consultant shared a brief slide deck providing some context on the subject property (GIS mapping, site photos, survey, land use designation and zoning) as well as the development proposal (site plan, conceptual elevations). The proposed dwelling would be located at a water setback of 11.25 metres to the north whereas the existing dwelling is located at a water setback of 6.43 metres to the east.

The Owner's Planning Consultant is of the opinion that the location of the proposed dwelling represents an improvement over the location of the existing dwelling given the increased water setback and notes that the proposed dwelling has been optimally located to remain outside of the Stony Lake floodplain and to minimize the necessary site alteration and vegetation removal to facilitate construction.

The septic system is proposed to be located outside of the minimum 30-metre water setback and would otherwise prevent the proposed dwelling from being located closer towards the interior of the lot.

The Owner's Planning Consultant is of the opinion that the proposed development and required relief from the minimum water setback could be addressed through a Minor Variance application.

The Township's Planning Consultant acknowledges previous correspondence between the Owner's Planning Consultant and the former Township Planner. The Township's Planning Consultant appreciates the improved eastern water setback but noted that the proposed dwelling is creating new encroachments to the north and south. The Official Plan requires a minimum water setback of 30 metres. Justification will be required for the encroachment into the 30-metre water setback.

The Township's Planning Consultant disagreed that a Minor Variance (MV) is the appropriate application to proceed with. Rather, an Official Plan Amendment (OPA) would be required to permit the proposed dwelling to encroach into said setback. A Zoning By-law Amendment (ZBA) would be required for the same.

The Township's Planning Consultant noted that an Environmental Impact Study (EIS) would be required in support of the OPA/ZBA to demonstrate that the proposed development would not result in any negative impacts on the water and shoreline and aquatic ecosystems. Lot grading and drainage plan to be submitted to indicate surface water flows across the property and ensure quality control of runoff entering Stony Lake.

The Township's Planning Consultant inquired as to whether any new accessory structures are to be constructed. The Agent noted that the existing boathouse and one storage shed are to be retained. One storage shed is to be removed to facilitate construction of the proposed dwelling.

The Owner's Planning Consultant sought clarification as to the requirement for an OPA and ZBA and noted other recent examples of recreational dwelling redevelopment which proceeded by way of an MV. The CBO noted these other redevelopments occurred on the existing footprint and did not encroach closer to the waterbody, in contrast to the subject development proposal.

The Township's Planning Consultant referenced Section 6.2.6.3 of the County's Official Plan which requires that all new development be set back a minimum of 30 metres from

the high-water mark and is of the opinion that the proposed development would not conform to this policy of the Official Plan given the further encroachment towards the waterbody in multiple directions. The proposed is considered new development rather than redevelopment given the expansion of the building footprint; therefore, the 30-metre water setback applies. The reduced water setbacks would need to be justified through the required Planning Justification Report (PJR) and OPA.

The Owner's Planning Consultant remains of the opinion that the encroachment into the 30-metre water setback would maintain the intent of the Official Plan and therefore the proposed development could proceed via MV.

The Township's Planning Consultant further explained that an OPA is required because the Official Plan establishes a specific numeric standard for the minimum required water setback, being 30 metres. As such, the intent of the Official Plan is that all new development meet this setback. The applicant must demonstrate that the proposed development meets the intent of this policy of the Official Plan; however, given that a numeric value has been assigned, this must be done by OPA rather than an MV.

Township Planning Consultant confirmed willingness to consider other comparables. Meeting to be scheduled following the release of the pre-consultation meeting minutes with the Township's Planning Consultant, CBO, and Owner's Planning Consultant to discuss comparables and determine the next steps.

The Agent inquired as to the requirements for the EIS. The Township's Planning Consultant suggested that the expert retained to complete the EIS prepare a terms of reference which the Township could review to ensure satisfactory.

The Agent inquired as to the timeline for OPA/ZBA applications. The Township's Planning Consultant explained that this would depend on the quality of the submission (e.g., strength of the arguments provided in the PJR, supportive outcome of required technical studies, etc.). Concurrent review of the OPA by the Township and County estimated to be approximately two months, comments from all agencies are likely to be provided within a month of receiving the complete OPA/ZBA application package.

Official Plan:

It is recommended that the Owner's Consulting Team review the County of Peterborough Official Plan, with a focus on Sections 4.4.3 and 6.2.6.3 which contain policies relating to waterfront areas throughout the County and policies for the Lakeshore Residential designation, respectively, and establish the minimum 30-metre water setback for all new development.

Zoning By-Law:

It is recommended that the Owner's Consulting Team review the Township of Douro Dummer Comprehensive Zoning By-law No. 10-1996, as amended, with a focus on

Sections 3.28 and 7 which contain provisions relating to legal non-complying buildings and the regulations of the Limited Service Residential (LSR) zone, respectively.

Provincial Planning Statement (PPS, 2024):

An EIS is required to address policy 4.1.8 of the PPS and an Archaeological Assessment is required to address policy 4.6.2.

Building Department:

The CBO appreciates that the proposed septic is located outside of the floodplain and the 30-metre water setback. No further comments regarding the construction of the proposed dwelling at this time. The CBO is to contact the Peterborough County Planning Department to request comments given that an OPA is required as currently proposed and the County is responsible for administering the processing of OPA applications.

ORCA:

ORCA requires the submission of a Lot Grading and Drainage Plan given the proximity of the proposed dwelling to the floodplain. No lot grading is permitted within the floodplain. ORCA noted that it would be preferable to shift the proposed dwelling towards the south to increase distance to the floodplain. Should the development proposal be amended as such, ORCA would be satisfied with a grading envelope shown on the site plan and buffer around the proposed dwelling.

ORCA does not require a Clean Water Act Notice but will require permits. Items considered in permit review include information regarding grading and re-stabilization of soil adjacent to the floodplain. Ensure no inadvertent expansion of floodplain and mitigation of soil erosion. ORCA will also require the installation of sediment and erosion fencing prior to the commencement of works on the property.

MTO:

Did not attend or send comments. The Owner is advised that MTO will be circulated on any formal planning application.

County of Peterborough E&C:

Did not attend or send comments. The Owner is advised that the County of Peterborough will be circulated on any formal planning application.

First Nation:

Hiawatha FN requested that an Archaeological Assessment be completed in support of the required planning applications. Any shoreline or in-water works will require an Aquatic Archaeological Assessment. Hiawatha FN noted that the area is of high archaeological potential and many archaeological discoveries have been made in proximity to the subject property.








Trent Severn Waterway:

Did not attend or send comments. The Owner is advised that Trent Severn Waterway will be circulated on any formal planning application. <https://parks.canada.ca/lhn-nhs/on/trentsevern/info/services-immobiliers-realty/development-land-use-planning>

Planning Review Tool:

Planning Review Tool (8)

8 Results Found

-  (1) Lakes - Small Scale (within 120 metres)
-  (1) Lakes- Large Scale (within 120 metres)
-  (1) Lakes - Local Scale (within 120 metres)
-  (1) Lakes - Regional (within 120 metres)
-  (2) Provincially Significant Wetlands (within 120 metres)
-  (1) Aggregate Sand and Gravel (within 300 metres)
-  (1) Floodplain (intersecting property)

Please see checklist below regarding studies/reports that would be required. Where planning applications are required, a 'complete' application will include all technical reports/studies identified through the pre-con undertaken by a qualified professional and the corresponding reviews by the appropriate authority, agency and/or peer reviewers. Both the cost of the study and the peer review will be at the applicant's expense.

Pre-consultation Checklist for Development

- Servicing Options Report (for developer >5 units; letter or paragraph describing how developer arrived at servicing choice (i.e. private, communal, municipal) and why)) Click or tap here to enter text.
- Hydrogeological Studies to determine water quality and quantity and sewage servicing capabilities (in accordance with MOE guidelines and regulations) (if private individual systems are accepted, proponent to prepare a detailed hydro-g prior to planning approval. 95% of hydro-g's rec'd by MOEE are unacceptable) Click or tap here to enter text.
- Engineered Drainage Plan/Storm Water Management **Lot Grading and drainage plan required by the Township and ORCA.**

- Source Water Protection** (if in Vulnerable area, require RMO review – Terri Cox, Abigail Morkem, or HBM) Click or tap here to enter text.
- Market Analysis/Justification Study** Click or tap here to enter text.
- Environmental Impact Analysis** (when on a lake or river to determine impact on water quality, any shoreland development ≥25 lots or 50 or more tourist accommodation beds, wetlands, fish habitat (any development within 30 metres of the high water mark of all watercourses) wildlife, ANSI's etc.) **Primarily to address the Provincially Significant Wetland (PSW) and waterbody adjacent the subject property.**
- Archaeological Study** (known site; 3 or more new lots; on a watercourse, zba/opa for golf course)(if the site has already been fully disturbed and the location of the application is within the disturbed area then a study isn't usually required, same with projects that do not require excavation such as a slab on grade garage or addition) Click or tap here to enter text.
- Planning Study/Analysis** **Assess development proposal in the context of applicable provincial and local planning policies and regulations. Detailed rationale for proposed encroachment into minimum 30-metre water setback.**
- Natural Resource Analysis** (aggregates, mineral non-aggregates, forests, etc.) Click or tap here to enter text.
- Noise Impact Study** Click or tap here to enter text.
- Traffic Study** Click or tap here to enter text.
- Agricultural Land Use Justification** Click or tap here to enter text.
- Review of Impact on Municipal/Other Services – fire, waste disposal, school busing, road conditions, etc.** (if the township requests) Click or tap here to enter text.
- Phase 1 Environmental Site Assessment** (generally for lands previously used for commercial and industrial uses) Click or tap here to enter text.
- Record of Site Condition** (converting from an commercial/industrial use to a sensitive (agricultural, residential, parkland or institutional) use) Click or tap here to enter text.
- Minimum Distance Separation Calculation** (where barns exist within 1 km) Click or tap here to enter text.
- Peer Review Reimbursement Agreement** Click or tap here to enter text.

- Official Plan Amendment <https://www.ptbocounty.ca/en/governing/official-plan-amemdments.aspx>
- Minor Variance \$1580 <https://www.dourodummer.ca/en/planning-and-development/Minor-Variance-Application-01-2025---Fillable.pdf>
- Zoning By-law Amendment \$1685 <https://www.dourodummer.ca/en/planning-and-development/resources/Zoning-By-law-Amendment-Application-01-2025.pdf>
- Preliminary Development Agreement Click or tap here to enter text.
- Development Deposit Click or tap here to enter text.
- Line of Credit Click or tap here to enter text.
- Preliminary Development Agreement for third party peer review of supporting studies fee \$1030 + \$5890 deposit

Subject: FW: 1842 South Bayshore Road East - Proposed Development
From: Diana Keay <dikeay@dmwills.com>
Date: 2025-06-03, 10:50 a.m.
To: Emily Fitzgerald <efitzgerald@dourodummer.ca>
CC: "Kevin McKrow" <kmckrow@wndplan.com>

Hi Emily,

Please see below. Apologies, it appears that your old email was on my original email chain. Sorry about that!

Best,
Diana Keay, MCIP RPP
Manager, Planning Services

D.M. Wills Associates Limited
150 Jameson Drive · Peterborough, ON · K9J 0B9
Tel: (705) 742-2297 ext. 245 · Fax: (705) 748-9944

From: Kevin McKrow <kmckrow@wndplan.com>
Sent: June 3, 2025 10:43 AM
To: Diana Keay <dikeay@dmwills.com>; mguindon@otonabeeconservation.com
Cc: Don Helleman <delleman@dourodummer.ca>; Kate Steele <ksteele@dmwills.com>; Clinesmith, Jennifer <JClinesmith@ptbocounty.ca>; Jenna Ward <jward@dourodummer.ca>; Jason Cutajar <jason@jcad.ca>; Christa Lemelin <christa@oakridgeenvironmental.com>
Subject: Re: 1842 South Bayshore Road East - Proposed Development

Hi Diana and Marnie,

We are in the process of preparing our studies and plans for submission based on the Pre-consultation Checklist. One item which was discussed during our PAC meeting was the EIS Terms of Reference (ToR) and that it would be best to have a mutually agreed upon ToR for the EIS to assist with the future complete application review process.

Our client has retained Oakridge Environmental (ORE) who have prepared the following Terms of Reference for your review:

1842 South Bayshore Road East – EIS Terms of Reference

- ORE will compile relevant background information regarding the site (air photos, Official Plan Schedules, Zoning Schedules, topographic mapping, Ontario LIO database, etc). A high level screening for Species at Risk (SAR) will also be conducted (will include a review of various databases including Natural Heritage Information Centre, Ontario Breeding Bird Atlas, eBird, iNaturalist, Ontario Reptile and Amphibian Atlas, Fish ONLine). Background and SAR information will be reviewed for the subject site and a 120m radius.
- ORE staff will conduct one (1) site inspection in the current season that will be focussed on the proposed redevelopment envelope and any nearby sensitive features (within 30 m of the redevelopment envelope). Off-site features will be reviewed from property boundaries.

Terrain mapping will include a detailed assessment of vegetation communities, habitat, surficial soils, springs, recharge zones, etc. ORE staff will confirm the presence or absence of wetland/drainage features, and if located on-site, the features will be delineated and mapped (by GPS) in accordance with provincial protocols (ie. OWES).

Note: If a significant faunal species, sensitive/significant vegetation community or Natural Heritage Feature is detected, additional inspections may be necessary. Any required additional inspections will be confirmed with the owner. Also, should any part of the development concept/design be modified after the inspection is conducted, it may be necessary to conduct a follow-up inspection to update our field data.

- ORE staff will superimpose the proposed redevelopment footprint on a geo-referenced air photo. This information will be used to determine any areas of potential concern (i.e., constraints) on the subject site.
- Upon completing the preceding tasks, ORE will analyse and interpret the available data. The report will include technical illustrations, constraints, vegetation mapping, and photographs. The report will determine compliance with applicable policies, and will include recommendations necessary to mitigate impacts on any sensitive natural heritage features (ie. recommended setbacks, vegetation protection zones, etc).

As always, myself, Jason (our architect) and Christa (ORE) can make ourselves available for a call if it is easier to discuss any of the above points.

I know Christa and her team are into their field season of work and are trying to schedule this project in the coming weeks.

If you could review this scope and either confirm or provide your feedback by Friday that'd be appreciated on our end (and I'm sure Christa's as well!).

Regards,

Kevin McKrow, MCIP, RPP
Senior Planner



47 Roselawn Avenue
Toronto, ON M4R 1E5
t: 416-968-3511 ext. 123

e-mail: kmckrow@wndplan.com web: www.wndplan.com

EXISTING TREE PRESERVATION AND REMOVALS LIST

TAG NUMBER	LEADER	TREE QTY	TREE CODE	BOTANICAL NAME	COMMON NAME	DBH(SIZE) (mm)	HEALTH RATING	FORM RATING	ACTION	COMMENTS
001	ZL	1	BP	Betula papyrifera	Paper Birch	130-200	Good	Fair	Remove	TRUNK DAMAGE
002	4L	AR	FR	Acer rubrum	Red Maple	250-400	Fair	Poor	Remove	CONDITIONAL PRESERVATION BASED ON EXCAVATION IMPACT AND BEDROCK DEPTH
003	1	PS	PS	Pinus strobus	White Pine	200	Good	Good	Conditional	
004	1	PS	PS	Pinus strobus	White Pine	600	Good	Good	Preserve	
005	1	PS	PS	Pinus strobus	White Pine	700	Good	Good	Preserve	
006	1	PS	PS	Pinus strobus	White Pine	400	Good	Good	Preserve	
007	1	TO	TO	Thuja occidentalis	Eastern White Cedar	410	Good	Good	Preserve	
008	2L	TO	TO	Thuja occidentalis	Eastern White Cedar	280	Good	Fair	Preserve	INCLUSION BARK AT UNION
009	2L	AX	AX	Acer saccharinum	Silver Maple	450	Good	Fair	Preserve	INCLUSION BARK AT UNION DEAD LUMBER IN CANOPY
010	2L	TO	TO	Thuja occidentalis	Eastern White Cedar	350	Good	Good	Preserve	
011	1	AX	AX	Acer saccharinum	Silver Maple	600	Good	Fair	Preserve	GROWING TOWARDS LAKE
012	1	FA	FA	Fraxinus americana	White Ash	450	Poor	Poor	Remove	SHOWING SIGNS OF EBA
013	1	PS	PS	Pinus strobus	White Pine	420	Good	Good	Preserve	
014	1	TO	TO	Thuja occidentalis	Eastern White Cedar	260	Good	Good	Preserve	
015	1	TO	TO	Thuja occidentalis	Eastern White Cedar	300	Good	Fair	Preserve	
016	1	QR	QR	Quercus rubra	Red Oak	800	Good	Good	Preserve	GROWING TOWARDS LAKE
017	1	PS	PS	Pinus strobus	White Pine	450	Good	Good	Preserve	
018	1	PS	PS	Pinus strobus	White Pine	710	Good	Good	Conditional	CONDITIONAL PRESERVATION BASED ON EXCAVATION IMPACT AND BEDROCK DEPTH
019	1	SR	SR	Syringa reticulata	Lilac	2m HT	Good	Good	Preserve	
020	1	TO	TO	Thuja occidentalis	Eastern White Cedar	250	Good	Fair	Preserve	
021	1	SR	SR	Syringa reticulata	Lilac	2m HT	Good	Good	Preserve	
022	2L	AX	AX	Acer saccharinum	Silver Maple	320-600	Good	Good	Preserve	GROWING TOWARDS LAKE
023	1	PS	PS	Pinus strobus	White Pine	400	Good	Good	Preserve	
024	2L	AX	AX	Acer saccharinum	Silver Maple	270-380	Fair	Fair	Preserve	PAST PRUNING
025	2L	AX	AX	Acer saccharinum	Silver Maple	450	Poor	Poor	Remove	DEAD WOOD WITH HOLLOW IN TRUNK
026	1	AX	AX	Acer saccharinum	Silver Maple	450	Good	Good	Preserve	GROWING TOWARDS LAKE
027	1	AR	AR	Acer rubrum	Red Maple	350	Good	Fair	Preserve	
028	1	PS	PS	Pinus strobus	White Pine	350	Good	Good	Preserve	
029	1	AR	AR	Acer rubrum	Red Maple	300	Good	Good	Preserve	
030	3L	AS	AS	Acer saccharum	Sugar Maple	300-600	Good	Fair	Preserve	INCLUSION BARK AT UNION
031	1	AS	AS	Acer saccharum	Sugar Maple	600	Poor	Fair	Preserve	PAST PRUNING
032	1	QR	QR	Quercus rubra	Red Oak	500	Good	Fair	Preserve	SOME DEAD WOOD IN LIMBS
033	1	FA	FA	Fraxinus americana	White Ash	375	Very Poor	Very Poor	Remove	SHOWING SIGNS OF EBA TRUNK 1/2 DEAD
034	1	PS	PS	Pinus strobus	White Pine	600	Good	Good	Preserve	
035	1	TO	TO	Thuja occidentalis	Eastern White Cedar	420	Good	Good	Preserve	
036	2L	TO	TO	Thuja occidentalis	Eastern White Cedar	350	Good	Good	Remove	
037	1	PS	PS	Pinus strobus	White Pine	830	Good	Good	Preserve	SOME DEAD LIMBS IN CANOPY
038	4L	TO	TO	Thuja occidentalis	Eastern White Cedar	340-410	Good	Good	Preserve	
039	2L	FA	FA	Fraxinus americana	White Ash	250-280	Very Poor	Very Poor	Remove	SHOWING SIGNS OF EBA
040	1	PS	PS	Pinus strobus	White Pine	370	Good	Good	Preserve	
041	1	GT	GT	Godolita triacanthos	Honey Locust	320-500	Good	Good	Preserve	
042	1	PS	PS	Pinus strobus	White Pine	700	Good	Good	Preserve	
043	1	TO	TO	Thuja occidentalis	Eastern White Cedar	250	Good	Good	Preserve	
044	4L	AS	AS	Acer saccharum	Sugar Maple	110-400	Good	Good	Preserve	INCLUSION BARK AT UNION
045	1	FA	FA	Fraxinus americana	White Ash	350	Very Poor	Very Poor	Remove	SHOWING SIGNS OF EBA
046	8G	TO	TO	Thuja occidentalis	Eastern White Cedar	100-400	Good	Good	Preserve	ROW OF CEDARS
047	12+G	TO	TO	Thuja occidentalis	Eastern White Cedar	170-400	Fair	Good	Preserve	ROW OF CEDARS
048	1	QR	QR	Quercus rubra	Red Oak	470	Good	Good	Preserve	

TREE PRESERVATION LIST LEGEND

SIZE	1. DIAMETER OF TRUNK AT BREAST HEIGHT IN MILLIMETERS NOTED AS "Ø"	2. FOR SMALL TREES AND SHRUBS - OVERALL HEIGHT OF TREE NOTED AS "H"	HEALTH	REFERS TO THE GENERAL BIOLOGICAL HEALTH AND VIGOUR OF THE TREE
ACTION	ACTION TO BE CARRIED OUT ON TREE		12 G	REFERS TO NUMBER OF TREES IN A GROUP
P	TREE TO BE PRESERVED-IN-PLACE		12L	REFERS TO NUMBER OF LEADER OR TRUNKS A TREE HAS
R	TREE TO BE REMOVED		12+	REFERS TO THE ADDITION OF SAPLINGS OR SUCKERS

EXCAVATION ADJACENT TO TREES 003 AND 018 SHALL BE SUPERVISED BY AN ISA-CERTIFIED ARBORIST. THE ARBORIST MUST EVALUATE ROOT SYSTEM IMPACT AND ASSESS THE TREES' POST-CONSTRUCTION STABILITY AND HEALTH.

EXISTING TREES NOTES

- SITE VISIT DATE: NOV 1 AND 2, 2025.
- TREE INVENTORY COMPLETED BY ISA CERTIFIED ARBORIST KEVIN POST #0N-3321A.
- TREE LOCATIONS BASED ON BLK360 3D SCAN COMPLETED BY KEVIN POST OF BEYOND THE POST DURING SITE VISIT ON NOV 1, 2025.
- IF TREES ARE TO BE PRUNED OR REMOVED THAT ARE DIRECTLY ON THE PROPERTY LINE OR OVER HANGING FROM ADJACENT PROPERTY, ADJACENT PROPERTY OWNER TO BE NOTIFIED AND PROVIDE APPROVAL OF PRUNING TO PROTECT SITE OWNER PRIOR TO WORK BEING UNDERTAKEN. ALL PRUNING TO BE UNDERTAKEN BY A CERTIFIED ARBORIST.
- REFER TO DRAWING L2 FOR THE SPECIFICATIONS FOR THE PROTECTION PRESERVATION OF EXISTING TREES

LEGEND

- EXISTING TREE OR SHRUB TO BE PRESERVED
- TREE IDENTIFICATION TAG NUMBER
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE PRESERVATION CONDITIONAL ON SITE CONDITIONS - SEE TREE'S COMMENTS
- EXISTING TREE OR SHRUB ON ADJACENT PROPERTIES
- (DEAD) EXISTING TREE TRUNK TO BE REMOVED
- TPZ TREE PRESERVATION FENCING
- PROPERTY LINE

EXISTING TREE PRESERVATION AND REMOVALS LIST (CONTINUED)

TAG NUMBER	LEADER	TREE QTY	TREE CODE	BOTANICAL NAME	COMMON NAME	DBH(SIZE) (mm)	HEALTH RATING	FORM RATING	ACTION	COMMENTS
049	2L	QR	QR	Quercus rubra	Red Oak	910	Good	Good	Preserve	INCLUSION BARK AT UNION
050	1	FA	FA	Fraxinus americana	White Ash	210	Good	Good	Preserve	
051	1	FA	FA	Fraxinus americana	White Ash	300	Very Poor	Very Poor	Remove	SHOWING SIGNS OF EBA BIRD DAMAGE
052	1	FA	FA	Fraxinus americana	White Ash	90	Poor	Poor	Remove	SHOWING SIGNS OF EBA
053	1	FA	FA	Fraxinus americana	White Ash	110	Poor	Poor	Remove	SHOWING SIGNS OF EBA
054	1	FA	FA	Fraxinus americana	White Ash	110	Poor	Poor	Remove	SHOWING SIGNS OF EBA PAST PRUNING
055	1	FA	FA	Fraxinus americana	White Ash	170	Poor	Poor	Remove	SHOWING SIGNS OF EBA
056	1	FA	FA	Fraxinus americana	White Ash	180	Poor	Poor	Remove	SHOWING SIGNS OF EBA
057	1	QR	QR	Quercus rubra	Red Oak	280	Fair	Poor	Remove	TOP REMOVED AT 1.5m(5')
058	1	QR	QR	Quercus rubra	Red Oak	220	Good	Good	Preserve	
059	1	QR	QR	Quercus rubra	Red Oak	260	Good	Good	Preserve	
060	1	FA	FA	Fraxinus americana	White Ash	130	Very Poor	Poor	Remove	SHOWING SIGNS OF EBA
061	1	AS	AS	Acer saccharum	Sugar Maple	100	Good	Good	Preserve	
062	1	FA	FA	Fraxinus americana	White Ash	160	Poor	Poor	Remove	SHOWING SIGNS OF EBA
063	1	PS	PS	Pinus strobus	White Pine	230	Good	Good	Preserve	
064	1	PS	PS	Pinus strobus	White Pine	150	Good	Good	Preserve	
065	1	PS	PS	Pinus strobus	White Pine	416	Good	Good	Preserve	
066	1	PP	PP	Picea pungens	Blue Spruce	310	Good	Good	Preserve	
067	1	PP	PP	Picea pungens	Blue Spruce	370	Good	Good	Preserve	
068	1	RP	RP	Rubia pseudoacacia	Black Locust	220	Good	Good	Preserve	
069	1	AR	AR	Acer rubrum	Red Maple	400	Fair	Fair	Preserve	GROWING TOWARDS LAKE
070	1	RP	RP	Rubia pseudoacacia	Black Locust	120	Good	Good	Preserve	
071	1	PS	PS	Pinus strobus	White Pine	180	Good	Good	Preserve	
072	1	PS	PS	Pinus strobus	White Pine	270	Good	Good	Preserve	
073	1	PU	PU	Prunus serotina	Black Cherry	280	Fair	Fair	Preserve	
074	1	PS	PS	Pinus strobus	White Pine	450	Good	Good	Preserve	
075	1	PS	PS	Pinus strobus	White Pine	420	Good	Good	Preserve	
076	1	TA	TA	Tilia americana	Basewood	230	Fair	Fair	Preserve	POOR FORM FROM PAST DAMAGE
077	1	PU	PU	Prunus serotina	Black Cherry	140	Good	Good	Preserve	
078	1	PS	PS	Pinus strobus	White Pine	260	Good	Good	Preserve	
079	1	QR	QR	Quercus rubra	Red Oak	280	Good	Good	Preserve	
080	1	FA	FA	Fraxinus americana	White Ash	160	Poor	Poor	Remove	SHOWING SIGNS OF EBA
081	1	TA	TA	Tilia americana	Basewood	350	Very Poor	Very Poor	Remove	LOSS OF BARK ON UPPER 1/3 OF MAIN LEADER
082	1	AS	AS	Acer saccharum	Sugar Maple	280	Poor	Poor	Remove	LOSS OF BARK ON UPPER 1/3 OF MAIN LEADER
083	1	TA	TA	Tilia americana	Basewood	270	Very Poor	Very Poor	Remove	LOSS OF BARK ON UPPER 1/3 OF MAIN LEADER
084	1	PS	PS	Pinus strobus	White Pine	660	Good	Good	Preserve	
085	1	TA	TA	Tilia americana	Basewood	250	Fair	Fair	Preserve	
086	4G	PS	PS	Pinus strobus	White Pine	90-230	Fair	Fair	Preserve	
087	1	QR	QR	Quercus rubra	Red Oak	310	Good	Good	Preserve	
088	3L	AR	AR	Acer rubrum	Red Maple	190-280	Fair	Fair	Preserve	INCLUSION BARK AT UNION
089	1	QR	QR	Quercus rubra	Red Oak	480	Good	Good	Preserve	ROW OF CEDARS
090	B/G	TO	TO	Thuja occidentalis	Eastern White Cedar	60-90	Good	Good	Preserve	
091	1	PS	PS	Pinus strobus	White Pine	450	Good	Good	Preserve	
092	1	QR	QR	Quercus rubra	Red Oak	290	Good	Good	Preserve	
093	1	QR	QR	Quercus rubra	Red Oak	320	Good	Good	Preserve	
094	1	QR	QR	Quercus rubra	Red Oak	360	Good	Good	Preserve	
095	1	PS	PS	Pinus strobus	White Pine	300	Good	Good	Preserve	
096	1	PS	PS	Pinus strobus	White Pine	175	Good	Good	Preserve	
097	1	QR	QR	Quercus rubra	Red Oak	260	Good	Good	Preserve	
098	1	QR	QR	Quercus rubra	Red Oak	180	Good	Good	Preserve	
099	1	QR	QR	Quercus rubra	Red Oak	470	Good	Good	Preserve	
100	1	QR	QR	Quercus rubra	Red Oak	600	Good	Good	Preserve	
101	1	AX	AX	Acer saccharinum	Silver Maple	160-230	Good	Good	Preserve	Understorey Saplings
102	10+G	QR	QR	Quercus rubra	Red Oak	25-100	Good	Good	Preserve	Understorey Saplings
103	20+G	FA	FA	Fraxinus americana	White Ash				Preserve	Saplings - Many of the Fraxinus spp. within this group, have succumb to Emerald Ash Borer and are in very poor to dead condition.
104	4+G	RP	RP	Rubia pseudoacacia	Black Locust	20-100	Good	Good	Preserve	Understorey Saplings
105	6+	TO	TO	Thuja occidentalis	Eastern White Cedar	75-250	Good	Good	Preserve	
106	9+	TO	TO	Thuja occidentalis	Eastern White Cedar	150-470	Good	Good	Preserve	

Tree on neighbouring properties

TAG NUMBER	LEADER	TREE QTY	TREE CODE	BOTANICAL NAME	COMMON NAME	DBH(SIZE) (mm)	HEALTH RATING	FORM RATING	ACTION	COMMENTS
P01	1	TO	TO	Thuja occidentalis	Eastern White Cedar	260	Good	Good	Preserve	
P02	1	PS	PS	Pinus strobus	White Pine	550	Fair	Fair	Preserve	
P03	1	JV	JV	Liriodendron virginicum	Eastern Red Cedar	230	Good	Good	Preserve	INCLUSION BARK AT UNION
P04	1	TO	TO	Thuja occidentalis	Eastern White Cedar	260	Good	Good	Preserve	

NOTES

- Architectural base information, obtained from file ACAD-1842 South Bay Shore Road East - Zoning - 12 04 2025.dwg created by Jason Cutajar Architectural Design and dated 12/04/2025.
- Grading information, obtained from GRADING AND EROSION & SEDIMENTATION CONTROL PLAN (file 401.pdf) revision 2, created by SITEPLANTECH INC. and dated 12/06/25.
- Survey information, obtained from file 23-19-292-00.dwg created by Elliot and

Attention: Members of Council

RE: 1842 South Bayshore Road East, Official Plan Amendment and Zoning By-law Amendment Application – new cottage (File No. OPA 15OP-25011 & ZBA R-03-25)

April 21, 2026 – Council Meeting

To Members of Council,

I am the owner of 1842 South Bayshore Road East and my family has enjoyed our time spent at the cottage over the last 26 years. I appreciated the opportunity to work with Staff throughout the submission and resubmission process for my new-build cottage over the last several months. I'd like to personally thank Jennifer Clinesmith (County Planner) and Emily Fitzgerald (Township Planner) for all of their feedback, guidance and hard work. Our teams will continue to work closely together on implementing the required site plan agreement. I'm looking forward to getting my new-build started this Spring together with my general contractor.

Through my Application, I am personally looking to improve the overall ecological function of my property which is why our resubmission included a robust tree planting plan which will re-naturalize large portions of my property in concert with the cottage build. These environmental conditions will be dealt with through the concurrent Site Plan Control agreement process which is underway.

The cottage has been an integral part of our lives for so many years. My daughter learned to swim at the Upper Stony Lake Association's lessons, the dances at the pavilion, the yearly regatta's, her wedding at the Wildfire Golf Club, sunset cruises, family around the lake. I've tried to make our property one of beauty throughout the years and look forward to creating another beautiful cottage that suits our needs.

We have worked hard to design the cottage and locate it in a way that maintains significant tree coverage on the property and utilizes trees to screen the new cottage for privacy and energy efficiency.

I have reviewed the Staff Recommendation Report and agree with Staff's Conclusions and Recommendations on my Application.

Please include me on any circulations of Notices of Decision.

Kind regards

Cheryl Cowie

Recommendation:

That the report Planning-2026-11, dated April 21, 2026, regarding Zoning By-law Amendment R-06-25 (Moore) be received; and

That Council receive all comments related to File R-06-25; and

That Council defer a decision on File R-06-25 until such a time as the outstanding comments on the supporting Environmental Impact Study are addressed and it can be confirmed that the application is consistent with the PPS and conforms to the Official Plan in their entirety.

Overview:

On behalf of the Owner, Kevin Duguay (KMD Planning Inc.) (Agent) has applied to amend the existing zoning on the property located at 694 Birchview Road, located in Part of Lot 25, Concession 2, in the Douro Ward, Part 1 on Plan 45R-17775, being Roll Number 1522-010-001-14600. The subject property is currently zoned the Shoreline Residential Zone (SR) as shown on Schedule B4 to Zoning By-law No. 10-1996, as amended.

The subject property is a waterfront lot which is approximately 0.48 ha in area and has approximately 42.9 m of shoreline frontage on Clear Lake. The property is currently developed for residential use in the form of a one-storey single detached dwelling with attached open decks, a detached second dwelling unit, and a boathouse. The existing dwelling and attached open decks are non-complying with water yard setbacks of 15.9 m and 15.0 m to the respective closest points. The existing dwelling is serviced by a privately owned and operated well and septic system.

The Owner proposes to demolish the existing one-storey dwelling having a ground floor area of 109.12 m² and a gross floor area of 120 m² and replace it with a new two-storey dwelling with attached open decks, as shown on the attached site plan. The new dwelling will be located in the same general footprint as the existing dwelling with the proposed expansion being towards the rear. The new dwelling is proposed to have a ground floor area of 244.8 m² and a gross floor area of 310 m². Attached open decks having an area of 57.65 m² are also proposed. The new development will be serviced by the existing privately owned and operated well and a new privately owned and operated septic system. The existing septic system is to be decommissioned and removed.

The purpose and effect of the proposed amendment is to rezone the subject property from the Shoreline Residential Zone (SR) to the Special District 267 Holding Zone (S.D. 267 (H)) to facilitate the proposed development.

As shown on the site plan, the proposed amendment seeks to permit minimum water yard setbacks of 18.3 m to the closest point of the proposed dwelling, whereas the minimum water yard otherwise required is 30 m (s. 6.2.1 h)). The proposed

amendment also seeks to permit the proposed open attached decks to have an area of 58 m² and project into the required water yard to a minimum water yard setback of 16.5 m at the closest point. The maximum extent and projection of such structures are otherwise limited to 3.8 m² in area and 1.5 m in depth (s. 3.1.9). Decks are similarly subject to the minimum 30 m water yard setback of the SR Zone (s. 6.2.1 h)). The proposed amendment will further serve to recognize the existing deficient shoreline frontage of 42.9 m. The SR Zone otherwise requires a minimum shoreline frontage of 60 m (s. 6.2.1 c)). All other applicable zones and provisions of the Township's Zoning By-law No. 10-1996 will continue to apply.

A copy of the draft amending By-law is attached to this Report.

Notices of Complete Application and Public Meeting were given in accordance with the regulations of the Planning Act. A copy of the Notice of Complete Application and Public Meeting is attached to this Report.

Pre-Consultation:

A pre-consultation meeting concerning the proposed redevelopment was held on March 27, 2025. The meeting was attended by Township Building and Planning Department Staff, Otonabee Conservation Staff, the Owner, and the Owner's Contractor.

The site plan submitted at the time of pre-consultation illustrated that the proposed redevelopment would result in a further encroachment towards the high-water mark, given that the water setback of the existing dwelling is 15.9 m whereas the new dwelling was proposed to be located at a water setback of 15.6 m. As proposed at the time of pre-consultation, Township Staff noted that an Official Plan Amendment and Zoning By-law Amendment would be required to permit the further reduction to the minimum 30 m high-water mark setback. The redevelopment proposal has since been revised such that the proposed new dwelling will not result in a further encroachment towards the high-water mark, and an Official Plan Amendment is no longer required.

During the pre-consultation meeting, Otonabee Conservation Staff noted that a portion of the subject property is classified as hazardous lands due to the presence of the Clear Lake floodplain and steep slopes. Additional and updated information was requested by Otonabee Conservation to confirm that the proposed development is consistent with Chapter 5 of the Provincial Planning Statement (PPS) regarding Natural Hazards.

Otonabee Conservation requested that the site plan be updated to illustrate the correct floodplain elevation contour, and that a Grading Plan and Construction Drawings/Plans stamped and approved by an Engineer be provided as part of the complete planning application(s). Otonabee Conservation later confirmed through correspondence with the Agent that the preparation and submission of the required Grading Plan and Construction Drawings/Plans can be deferred to the building permit application stage.

At the time of pre-consultation, Township Staff requested the completion of an Environmental Impact Study (EIS) in support of the planning application(s). An EIS was prepared by Sumac Environmental Consulting. The EIS was undertaken to identify the form and function of natural heritage on and adjacent to the subject property and to assess potential impacts associated with the proposed redevelopment. Fish habitat, Habitat of Threatened or Endangered Species (HETS), Significant Wildlife Habitat (SWH), and significant woodlands were identified as occurring on or adjacent to the subject property. The EIS concluded that no significant impacts are anticipated as a result of the proposed redevelopment.

The EIS was sent for peer review while the application was under review. The peer reviewer identified no notable deficiencies with the scope of the EIS. The EIS generally demonstrates consistency with the PPS; however, some additional considerations were recommended to strengthen PPS consistency. Specifically, it should be confirmed that no adverse impacts to the identified significant woodlands and SWH will result from the proposed development. The peer reviewer also recommended further discussion on conformity to the Official Plan regarding policies for development in proximity to waterbodies.

A SAR Habitat Assessment was completed as part of the EIS. Habitat for several SAR bats was identified through the SAR Habitat Assessment. The peer reviewer requested further clarification as to the SAR Habitat Assessment for Blanding's Turtle and Northern Map Turtle. Northern Map Turtles were identified as having habitat adjacent the site and in Clear Lake; however, the EIS indicated that no high-quality turtle nesting habitat was identified on the subject property. It is not clear in the EIS why the property would not be considered suitable habitat and/or if Blanding's Turtle could potentially use the property as nesting habitat. If the subject property could be used as nesting habitat for either species, the peer reviewer recommended the addition of appropriate mitigation measures to the EIS.

The peer reviewer noted that the EIS is unclear on which portion of the vegetation community representing the significant woodland (FOM2-2) is proposed to be disturbed, and whether restoration or compensation will take place. Additional information regarding the proposed disturbance, including size of the development, number of trees to be removed, and the area to be restored, was requested in order to define the potential impacts to the significant woodland.

Township Staff also requested the submission of a Planning Justification Report (PJR) in support of the planning application(s). The PJR submitted provided an overview of the subject property, the development proposal, and the technical studies submitted in support of the application. The PJR concluded that the proposed development is consistent with the PPS and is in keeping with the general intent and purpose of the Official Plan and Zoning By-law. The PJR justifies the proposed development by providing that the use of the subject property is permitted by provincial and municipal

planning regulations and that the replacement of an existing non-complying dwelling is permitted if no further encroachment towards the waterbody is made. The PJR emphasizes that the use and moderate expansion of the existing building footprint will minimize impacts.

Provincial Planning Statement (PPS) 2024:

The PPS is considered a policy statement for the purpose of Section 3 of the Planning Act. All municipal decisions, as well as comments, submissions or advice affecting planning matters are required to be consistent with the PPS pursuant to subsections 3(5) and 3(6) of the Planning Act.

The subject property is considered Rural Lands as per Section 2.6 of the PPS. Permitted uses on Rural Lands include resource-based recreational uses, including recreational dwellings not intended as permanent residences, as well as residential development, provided that site conditions are suitable for the provision of appropriate water and sewage servicing (ss. 2.6.1 c) and d)). Development that can be sustained by rural service levels shall be promoted (s. 2.6.2) and development shall be appropriate to available or planned infrastructure (s. 2.6.3).

Staff agree with the opinion offered in the Planning Justification Report (PJR) prepared by the Agent, dated November 18, 2025, which provides that the existing and proposed use of the property are permitted under the policies of the PPS and no change to the existing demand on rural service levels or municipal infrastructure will result from the proposed redevelopment.

Section 4.1 of the PPS contains policies pertaining to Natural Heritage. An EIS was submitted in support of the application and was peer reviewed. As discussed earlier in this Report, the peer reviewer identified concerns with some of the findings of the EIS. Updates to the EIS were recommended to better demonstrate consistency with the PPS, particularly with respect to potential impacts on the significant woodland feature and the habitats of endangered and threatened species (ss. 4.1.5 b) and 4.1.7).

Section 4.6 of the PPS speaks to Cultural Heritage and Archaeology. Policy 4.6.2 prohibits planning authorities from permitting development and site alteration on lands having archaeological potential or containing archaeological resources unless significant archaeological resources have been conserved. A Stage 1/2 Archaeological Assessment was completed and submitted in support of the application. The Stage 1 Assessment determined that portions of the property were determined to have archaeological potential. As part of the Stage 2 Assessment, the entirety of the property was subject to photographic documentation and the excavation of test pits at a 5 m interval. No archaeological resources were encountered during the Stage 2 Assessment and the consultant recommended no further archaeological work.

Comments from Otonabee Conservation note that the proposed development is not located within a known flooding hazard. The slope and any erosion hazards will be addressed at the permitting stage. The application is consistent with Chapter 5 of the PPS referencing Natural Hazards.

Updates to the EIS are required to confirm whether the application is consistent with the PPS in its entirety.

Official Plan:

The subject property is designated Lakeshore Residential and Environmental Constraint Area as shown on Schedule 'A4-3' to the Official Plan. The permitted uses of the Lakeshore Residential designation include single detached permanent and recreational dwellings (s. 6.2.6.2). Development and site alteration are generally prohibited in the Environmental Constraint Area designation unless required for flood or erosion control or landscape stabilization or essential utilities (s. 6.2.15.3 a)). The proposed dwelling will be located on the portion of the property designated Lakeshore Residential. The existing and proposed use of the subject property are permitted under the policies of the Official Plan.

Policies of the Lakeshore Residential designation generally require a minimum water setback of 30 m for new development in order to minimize environmental and visual impacts to the character and function of the shoreline and waterbody (s. 6.2.6.3 c)). Structures legally existing as of October 22, 2008, which do not comply with the 30 m water setback requiring replacement due to structural defect or destruction by natural causes or by permission of the Township are permitted to be replaced on the same footprint and may be enlarged in accordance with the local Zoning By-law, provided no further encroachment towards the waterbody results (s. 6.2.6.3 c)). Open decks are a permitted use and may encroach into the required 30 m water setback provided no negative effects to the waterfront environment are produced (s. 6.2.6.3 c)).

A Structural Assessment Report prepared by Jacob R. Lean Engineering was submitted in support of the application. The Report concluded that significant repairs and strengthening to the foundation and building envelope would be required to bring the existing dwelling into compliance with current Ontario Building Code (OBC) standards for permanent dwellings. It was recommended that the existing dwelling be replaced rather than repairs and renovations attempted.

As noted in the PJR, the replacement dwelling will be located generally within the footprint of the existing dwelling in order to minimize physical and environmental disturbance, as well as visual impacts from the waterbody and adjacent properties. The water yard setbacks of the proposed dwelling represent minor improvements to the deficient water yard setbacks of the existing dwelling. The Owner is seeking an amendment to the By-law to permit an expansion of the existing non-complying dwelling beyond the as-of-right permissions of the By-law.

Section 4.1 of the Official Plan contains policies regarding the Natural Environment. Natural heritage features, including but not limited to fish habitat, wildlife habitat, and habitat of threatened and endangered species, are recognized as features to be protected and preserved to ensure the long-term health of the natural environment and the continued provision of associated social and economic benefits to the County and Townships. The Official Plan provides that development and site alteration shall not be permitted on lands adjacent to the identified natural heritage features unless the ecological function of the adjacent lands has been evaluated through an Environmental Impact Study and it has been determined that there will be no new negative impacts on the natural features or on their ecological functions (s. 4.1.3.4).

As discussed herein, updates to the EIS are required to confirm conformity with the policies of the Official Plan regarding the Natural Environment. The application otherwise appears to conform to the Official Plan.

Zoning By-law:

The subject property is zoned the Shoreline Residential Zone (SR) as shown on Schedule B4 to By-law No. 10-1996, as amended. Permitted uses of the SR Zone include single detached permanent and recreational dwellings (s. 6.1). The existing and proposed use of the subject property are permitted.

The minimum water yard setback requirement of the SR Zone is 30 metres (s. 6.2.1 h)). Structures which are legally existing which do not meet the required setback and/or yard may be enlarged, reconstructed, repaired, altered, or renovated provided that existing deficient setbacks and/or yards are not further reduced (s. 3.28.1 a)) and that all other provisions of the Zoning By-law are complied with (s. 3.28.1 b)).

As discussed in detail in the opening of this Report, relief is required from sections 6.2.1 c) and h), and 3.1.9 to facilitate the proposed redevelopment. The purpose of the amendment is to permit reduced water yard setbacks for the proposed dwelling, as well as additional expanse and depth for an open, attached deck projecting into the required water yard. The amendment will also recognize the existing deficient shoreline frontage.

Other than the relief described above, the proposed development is compliant with the applicable provisions of the Zoning By-law.

Comments:

At the time of writing this report, no comments were received from members of the public or Senior Staff. Any such comments received will be provided to Council prior to or during the Public Meeting.

Comments were received from the following agencies:

- Peterborough County E&C Division: No objections, comments, or concerns with respect to the application.
- Kawartha Pine Ridge District School Board: No concerns or issues related to their mandate with the proposed amendment.
- Trent Severn Waterway: No objection to the application. Should the property owner wish to undertake any in-water or shoreline works at this location, they will require an approved permit from this office prior to the commencement of any work.
- Alderville First Nation: Noted that the property has very high potential for archaeological resources and/or burial sites. An archaeological assessment is required prior to any demolition and/or soil disruption. A copy of the Stage 1/2 Archaeological Assessment was provided to Alderville First Nation.
- Curve Lake First Nation: Requested additional consultation with the proponent and additional information relating to the project, as well as the completion of a Stage 1 Archaeological Assessment at a minimum. The Agent provided a copy of the Stage 1/2 Archaeological Assessment to Curve Lake First Nation. No further comments were received.
- Otonabee Conservation: The application is consistent with Chapter 5 of the PPS. The proposed development will not create new or aggravate existing hazards. Permits are required prior to any site alteration or development in the regulated areas. Trent Source Protection Plan policies do not apply.

Copies of the agency comments are attached to this report.

Conclusion:

The Zoning By-law Amendment proposes to rezone the subject property from the Shoreline Residential Zone (SR) to the Special District 267 Holding Zone (S.D. 267 (H)) to facilitate the construction of the new dwelling as proposed. As previously noted, there are outstanding comments required to be provided and/or resolved to confirm that the application is consistent with the PPS and conforms to the Official Plan. For this reason, it is recommended that Council defer a decision on the Zoning By-law Amendment until a later date.

Financial Impact:

All expenses are incurred by the applicant.

Township of Douro-Dummer Strategic Plan 2023-2027



Service Modernization and Innovation

Modernizing, refining and innovating services for residents is essential to effectively meet the needs of our community, enhance our operational efficiency, and ensure we remain adaptable in a rapidly changing world.



Business Attraction, Expansion, and Retention

Business attraction, expansion, and retention is vital for the economic health and sustainability of our Township, such as job creation, tax revenue, investing in innovation, maintaining our quality of life, and supporting community stability.



Infrastructure Renewal

Infrastructure renewal is a critical investment for our Township as it will ensure our adherence to health and safety, economic development, investment attraction, environmental sustainability, quality of life, public confidence, and regional competitiveness.

Report Approval Details

Document Title:	R-06-25 - Planning-2026-11.docx
Attachments:	<ul style="list-style-type: none"> - R-06-25 - Draft By-law.pdf - R-06-25 PJR.pdf - 9660_SITE PLAN.pdf - R-06-25 - ZBA Notice.pdf - R-06-25 Engineer's Report_Redacted.pdf - R-06-25 EIS.pdf - R-06-25 Amended Application_Redacted.pdf - 25-287 Architectural.pdf - EC Comments.pdf - KPRDSB Comments.pdf - TSW Comments.pdf - AFN Comments.pdf - CLFN Correspondence.pdf - ORCA Comments.pdf
Final Approval Date:	Apr 16, 2026

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

The Corporation of the Township of Douro-Dummer

By-law Number 2026-XX

Being a By-law to amend By-law Number 10-1996, as amended, otherwise known as "The Township of Douro-Dummer Comprehensive Zoning By-law"

Whereas By-law Number 10-1996, as amended, regulates the use of land and the use and erection of buildings and structures within the Township of Douro-Dummer;

And Whereas Section 34 of The Planning Act, RSO 1990, as amended, permits the Council to pass an amending Zoning By-law;

And Whereas the Council of the Township of Douro-Dummer deems it advisable to further amend By-law No. 10-1996 as amended;

Now Therefore the Council of the Township of Douro-Dummer hereby enacts as follows:

1. Schedule B4 to By-law No. 10-1996, as amended, is hereby further amended by changing the zone category on the property known municipally as 694 Birchview Road and more particularly described Part Lot 25, Concession 2 (Douro Ward) Part 1, Plan 45R-17775 from the Shoreline Residential Zone (SR) to the Special District 267 Holding Zone (S.D. 267 (H)) as shown on Schedule "1" attached hereto and forming part of this By-law.
2. Section 21 Special Districts is amended by the addition of subsection "21.267 Special District 267 Holding Zone (S.D. 267 (H))" immediately following subsection "21.266 Special District 266 Holding Zone (S.D. 266(H))" which shall read as follows:

21.267 Special District 267 Holding Zone (S.D. 267 (H)) – Roll No. 1522-010-001-14600

No person shall within any Special District 267 Holding Zone (S.D. 267 (H)) use any land, or erect, alter or use any building or structure except in accordance with the following provisions:

21.267.1 Permitted Uses

21.267.1.1 All uses permitted in Section 6.1 of the Shoreline Residential Zone (SR) of By-law 10-1996, as amended.

21.267.2 Regulations for Permitted Uses

All regulations of Section 6.2.1 of the Shoreline Residential Zone (SR) of By-law 10-1996, as amended, shall apply with the following exceptions:

- | | |
|--|--------|
| a) Minimum Shoreline Frontage | 42.9 m |
| b) Minimum Water Yard Setback for principal dwelling | 18.3 m |

21.267.3 Special Provisions

All provisions of Section 3, General Zone Provisions of By-law 10-1996, as amended, shall apply to the use of land, buildings or structures within the Special District 267 Holding Zone (S.D. 267 (H)) with the following exception:

- a) Notwithstanding subsection 3.1.9, the maximum area for all open decks attached to the principal dwelling which project into the required water yard shall be 58 m² and the minimum water yard setback shall be 16.5 m.

21.267.4 Holding Provisions

The Holding Provision attached to the Special District 267 Holding Zone (S.D. 267 (H)) shall be removed when the following action has been secured to the satisfaction of the Township:

- a) A Mitigation Measures Agreement is entered into between the Owner and the Township which would recognize the recommendations outlined in Section 8.2 of the Environmental Impact Study prepared by Sumac Environmental Consulting dated September 2025.
- b) Prior to the removal of the Holding Provision, the only uses permitted shall be an existing building, structure, or use.

- 3. All other relevant provisions of By-law 10-1996, as amended, shall apply.

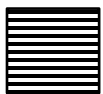
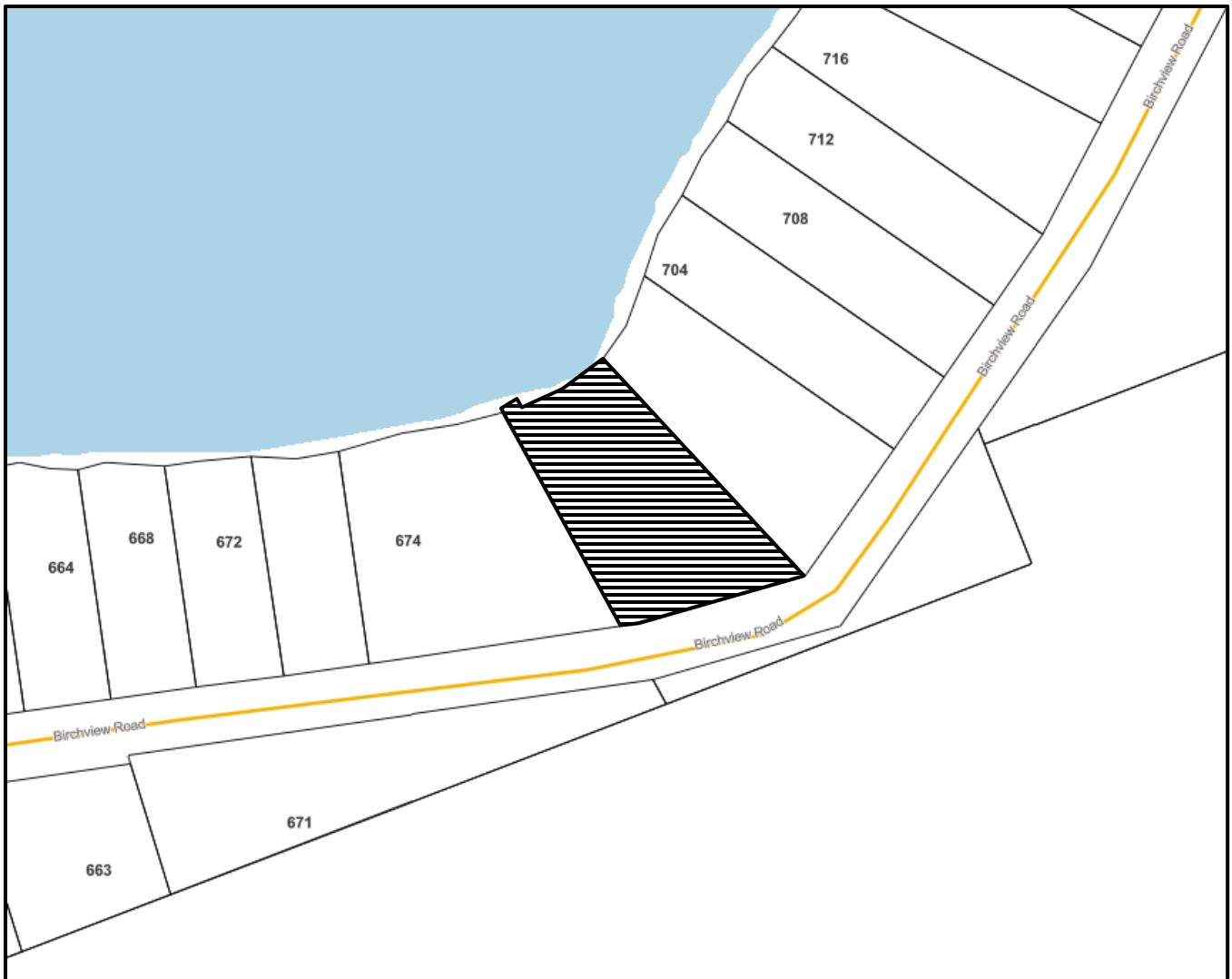
If no notice of objection is filed with the Clerk within the time provided, this By-law shall become effective on the date of passing hereof, subject to the provisions of the Planning Act, RSO 1990, as amended.

Passed in Open Council this ___st day of _____, 2026.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

Schedule "1" to By-law 2026-XX



Land to be rezoned from the 'Shoreline Residential Zone (SR)' to the 'Special District 267 Holding Zone (S.D. 267 (H))'

This is Schedule '1' to By-law No. 2026-XX passed this ___st day of _____, 2026.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig



Kevin M. Duguay
Community
Planning and
Consulting Inc.



Planning Justification Report (November 2025) - Zoning By-law Amendment Application 694 Birchview Road, Township of Douro-Dummer

Introduction

This Planning Justification Report (PJR) has been prepared in support of a Zoning By-law Amendment (ZBLA) Application filed with the Township of Douro-Dummer Planning Department, regarding the residential waterfront property known municipally as 694 Birchview Road.

The Property

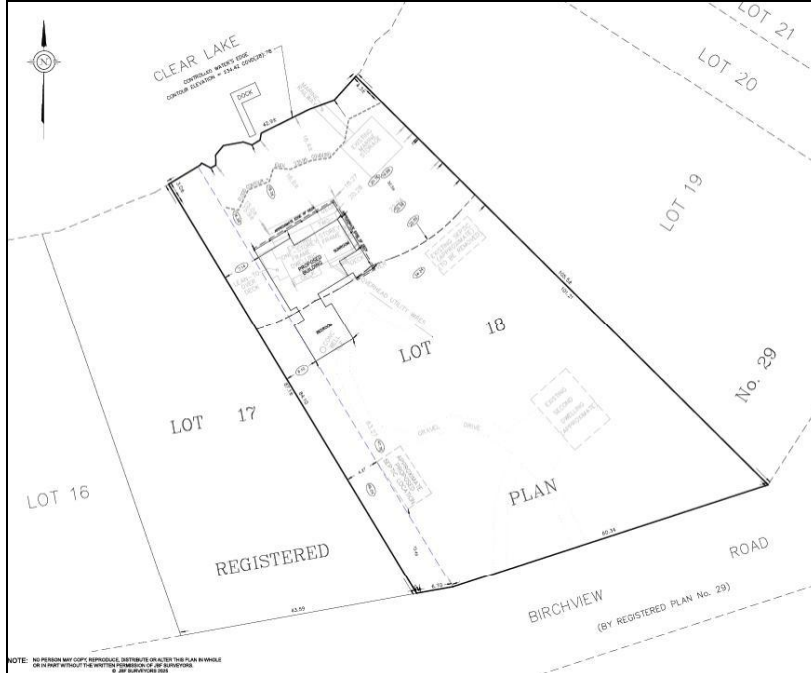


The Property

(Source: County of Peterborough GIS Website, November 2025)

The property is located on the north side of Birchview Road, in an area of waterfront residential properties. The existing dwelling is located within the northern part of the property.

The Concept Plan



(Source: KMD Planning Inc, November 2025)

The ZBLA Application seeks to permit the replacement of the existing dwelling with a new dwelling to be located in the same area (generally) as the existing dwelling. All other built features will remain in place (land based and in-water).

The Zoning By-law Amendment (ZBLA) Application

The ZBLA is required to permit the replacement dwelling, which will not be located closer to the waterfront than the existing dwelling.

1. Section 6.2.6.3 – Existing Structures

Notwithstanding the provisions of Section 6.2.6.3 (Existing Structures) a replacement dwelling shall be permitted, as confirmed by the structural building report prepared by J.R Lean Engineering, providing the dwelling has a water-yard setback of 15 metres.

2. Section 6.2.1 (I)

Notwithstanding the provisions of Section 6.2.1 (I) the maximum building height shall be 9.67 metres (front of building – water-yard).

The replacement dwelling otherwise conforms with the regulatory provisions of Section 6.2.1 (Regulations for Permitted Uses – Shoreline Residential Zone).

Pre-Consultation

The ZBLA Application was subject of a Pre-Consultation – March 27, 2025 (See Attachment 'G' to this Report). The original concept development plan was modified, as reflected in the Concept Plans contained in Attachment 'E' to this Report.

The Pre-Consultation identified the requirement for three (3) background/technical Reports, all of which have been prepared in support of the ZBLA Application.

1. Environmental Impact Study – Sumac Environmental Consulting – September 2025

The EIS Report did not identify any environmental concerns as it would pertain to the proposed replacement dwelling. The series of Recommendations, as outlined in Section 8.2 (Recommendations) were offered, all of which can/will be implemented as part of the redevelopment process.

2. Archaeological Assessment Stage 1 - 2 – AMICK Consultants Limited, June 2025

The Archaeological Assessment Stage 1 -2 Report did not identify any archaeological resources – attributes. Additionally, the Assessment – Report has been filed with the Ministry of Citizenship and Multiculturalism (MCM) – June 24, 2025.

3. Structural Assessment Report

A Structural Assessment Report was prepared by Jacob R. Lean Engineering, which confirmed that the existing dwelling/building cannot be repaired or renovated to function as a permanent dwelling. Thus, a demolition of the existing dwelling can proceed.

Copies of the three (3) Reports are included as part of this PJR/ZBLA Application filing.

Analysis

2024 Provincial Planning Statement (2024 PPS)

Relative to the ZBLA Application, the following policies of the 2024 PPS are considered to have direct relevancy:

Policy	Title, Details, Planning Opinion
2.3	Settlement Areas and Settlement Area Boundary Expansions

<p>2.3.1</p>	<p>General Policies for Settlement Areas</p> <p>1. Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.</p> <p>Opinion: The property does not form part of a designated settlement area.</p>
<p>2.5</p>	<p>Rural Areas in Municipalities</p> <p>1. Health, integrated and viable <i>rural areas</i> should be supported by:</p> <ul style="list-style-type: none"> a) building upon rural character, and leveraging rural amenities and assets; d) using rural <i>infrastructure</i> and <i>public service facilities</i> efficiently; g) conserving biodiversity and considering the ecological benefits provided by nature; <p>Opinion: The ZBLA Application seeks to permit the appropriate redevelopment of the property (replacement dwelling), considerate of it's setting and relationship with the built environment, as well as area natural assets.</p>
	<p>2. In rural areas, rural settlement areas shall be the focus of growth and development and their vitality and regeneration shall be promoted.</p> <p>Opinion: The property does not form part of a designated rural settlement area.</p>
<p>2.6</p>	<p>Rural Lands in Municipalities</p> <p>1. On rural lands located in municipalities, permitted uses are:</p> <ul style="list-style-type: none"> b) resource-based recreational uses (including recreational dwellings not intended as permanent residences); c) residential development, including lot creation, where site conditions are suitable for the provision of appropriate sewage

	<p>and water services;</p> <p>Opinion: A replacement dwelling is proposed on a property enjoying a resourced based setting.</p>
	<p>2. Development that can be sustained by rural service levels should be promoted.</p> <p>Opinion: The property is currently developed and located in an area of several similar waterfront residential properties, which are sustained by rural service levels. The same scenario will apply post redevelopment.</p>
3.6	<p>Sewage, Water and Stormwater</p> <p>4. Where municipal sewage services and municipal water services or private communal sewage services and private communal water services are not available, planned or feasible, individual on-site sewage services and individual on-site water services may be used provided that site conditions are suitable for the long-term provision of such services with no negative impacts.</p> <p>Opinion: The property will continue to rely upon private water and waste-water services. This is common-place for all area residential properties.</p>
4.1	<p>7. Development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.</p> <p>Opinion: The Sumac EIS Report did not identify any species-at-risk issues associated with the proposed redevelopment of the property.</p>

In summary, it is my Professional Planning Opinion that the Zoning By-law Amendment Application demonstrates consistency with the policy directives of the 2024 Provincial Planning Statement.

County of Peterborough Official Plan (COP)

For purposes of this PJR, I employed the Pre-July 2022 version of the County of Peterborough Official Plan (COP).

The property and the surrounding waterfront residential properties are designated as “Lakeshore Residential”.

Official Plan Map Detail



(Source: County of Peterborough Website, November 2025)

Relative to the ZBLA Application, the following policies of the COP are considered to have direct relevancy:

Policy	Title, Details, Planning Opinion
4.1	<p>Natural Environment</p> <p>The County recognizes the important contribution that natural systems, natural heritage features and natural resources make to the social, economic, and environmental health of local municipalities. In this regard, the County has identified the following areas to ensure that the appropriate land use and resource management protection policies are applied to them.</p> <p>Opinion: The Sumac Environmental EIS Report confirmed that the proposed redevelopment of the property will not create an impact upon natural features, including the adjacent waterbody.</p>
4.4	<p>Shoreland Areas and the Waterfront</p> <p>Shoreland Areas generally include all lands extending inland 150 metres from the ordinary high water mark of, any lake, river or waterway.</p>

	<p>Lands and land uses that are more than 150 metres from shore but which physically or functionally relate to the Shoreland Areas are considered to be part of the Shoreland Areas. All lands that are less than 150 metres from shore but which do not physically or functionally relate to the Shoreland Areas are not considered to be part of the Shoreland Areas. The entire areas of islands are normally considered to be part of the Shoreland Areas.</p> <p>Opinion: The property enjoys a waterfront setting on the south part of the Clear Lake shoreline.</p>
4.4.1	<p>Goal</p> <ul style="list-style-type: none"> • to improve and protect the waterfront areas in Peterborough County as a significant cultural, recreational, economic and natural environment resource and enhance land areas adjacent to the shore. <p>Opinion: The proposed redevelopment of the property will not detract from the area natural environment – context, as per the Sumac Environmental EIS Report.</p>
4.4.2	<p>Objectives</p> <ul style="list-style-type: none"> • to permit sustainable shoreland development that allows for limited growth of existing and new tourist developments and innovatively designed residential developments; • to ensure that the built form along the shoreline is not overly concentrated or dominating to the detriment of the natural form; <p>Opinion: The property is currently developed for waterfront residential purposes. The proposed redevelopment scheme is respectful of the property’s relationship with the adjacent waterbody. Moreover, the redevelopment is not an over-concentration of built form.</p>
4.4.3	<p>Policies</p> <ul style="list-style-type: none"> • The character of Shoreland Areas is linked to the natural and built form associated with the lakes and rivers in the County. For the most part, the natural form includes vegetated shorelines with thin soils over bedrock. The built form includes predominantly residential development interspersed with some commercial developments including resorts and marinas. The Shoreland Areas are generally associated with leisure, recreation, water supply, support for fisheries and wildlife habitat. As such, development occurring in the Shoreland

	<p>Areas should enhance and protect, where possible, those qualities that contribute to the area’s character;</p> <p>Opinion: The proposed redevelopment of the property demonstrates conformity with the policy provisions of Section 4.4.2.</p> <p>The limited development associated with the replacement dwelling, together with the general natural setting, as per the EIS Report recommendations will ensure a responsible and appropriate redevelopment form and approach.</p>
6.2.6	Lakeshore Residential
6.2.6.1	<p>General Principles</p> <p>Permanent single-detached dwellings and cottages in shoreline areas along publicly maintained roads are the predominant use of land within the Lakeshore Residential designation. However in the Township of Douro-Dummer, permanent single-detached dwellings and seasonal cottages may also be permitted on private roads and deeded right-of-ways subject to the provisions of the Township’s Zoning By-Law. This designation provides for the conversion of seasonal cottages to permanent dwellings by amendment to the Zoning By-law, where necessary. For the purposes of this plan, the terms “cottage” and “seasonal residence” are used interchangeably.</p>
6.2.6.2	<p>Permitted Uses</p> <p>The predominant use of land within the Lakeshore Residential designation shall be for permanent single-detached dwellings and seasonal cottages on public roads. This category may include retail and service commercial uses of limited extent which provide primarily for the day-to-day commercial needs of the lakeshore residents.</p> <p>Opinion: The property is currently developed/used for residential purposes. The redevelopment scheme incorporates a replacement dwelling to be located in the area of the existing dwelling.</p>
6.2.6.3	<p>Lakeshore Residential Policies</p> <p>a) The intent of this category is to make provision for permanent single detached dwellings and seasonal cottages based on public road access. This designation also provides policies to guide the conversion of seasonal cottages to permanent dwellings by amendment to the Zoning</p>

	<p>By-law, where necessary.</p> <p>b) The Township shall have regard to the following when considering an amendment to the Zoning By-law to permit a conversion:</p> <p>i) The lot shall be adequately served by a year-round publicly-maintained road. No conversions shall be permitted on private roads unless otherwise permitted in this plan.</p> <p>ii) The lot shall have adequate frontage and area as set out in the implementing Zoning By-law.</p> <p>iii) The cottage has an adequate source of potable water supply whose year round use will not impair the supply of other nearby buildings and land uses and will satisfy the requirements of the Health Unit and/or the Ministry of the Environment.</p> <p>Opinion: The property (replacement dwelling) can be appropriately served by private water (drilled well) and wastewater (septic) facilities.</p> <p>v) The cottage has a sanitary sewage disposal system suitable for year round operation and will satisfy the requirements of the Health Unit and/or the Ministry of the Environment</p> <p>Opinion: The existing cottage/dwelling warrants replacement, as per the Structural Assessment Report. The proposed new dwelling is to be located in the same area of the existing cottage/dwelling.</p> <p>It is noted that the water-yard setback is less than the standard 30 metres requirement.</p> <p>The replacement dwelling respects the existing water-yard setback and represents a minimal disturbance to the property (only as it would relate to construction requirements).</p>
	<p>Permitted Exceptions</p> <p>Notwithstanding anything in this section to the contrary, structures such as pump houses, boat houses, docks, open decks and stairs shall be a permitted use and may encroach into the 30 metre setback without a minor variance provided that the property owner can demonstrate to the Township's satisfaction and, if appropriate, the authority having jurisdiction over the waterway, that it does not negatively affect the waterfront environment. If addressed in the Zoning By-law, applicable</p>

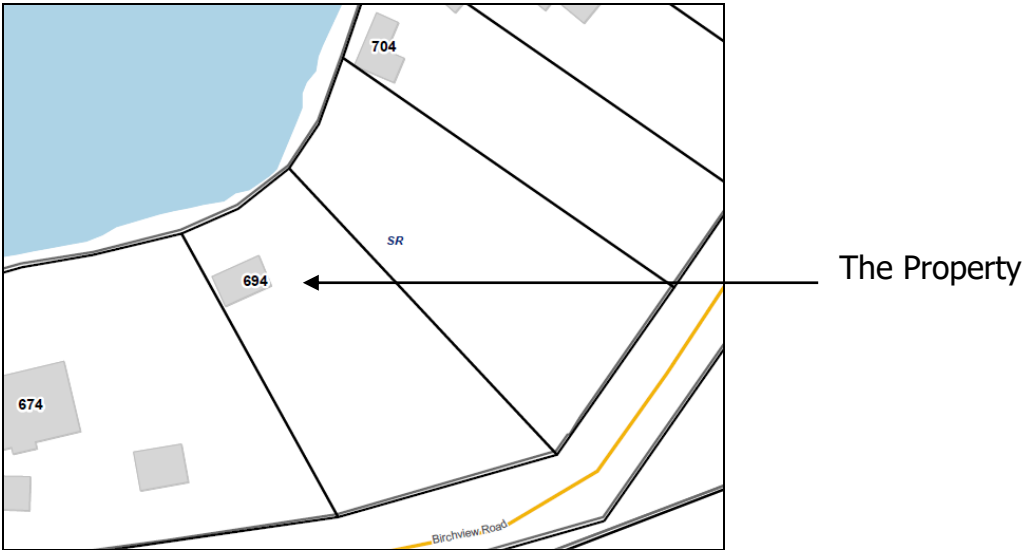
	<p>standards must be met (i.e. deck width, area, etc.).</p> <p>Opinion: The existing dwelling structure is non-conforming in terms of its setback from the Shoreline of Clear Lake. The proposed replacement dwelling respects this water-yard setback context.</p>
--	--

In summary, it is my Professional Planning Opinion that the Zoning By-law Amendment Application is in keeping with the policies of the Lakeshore Residential designation of the County Official Plan, including relevant policies of the Lower Tier (Township of Douro-Dummer), respectively.

Township of Douro-Dummer Zoning By-law (TZBL)

The property is zoned SR - Shoreline Residential.

Zoning Map Detail



(Source: County of Peterborough Website, November 2025)

The SR – Shoreline Residential zone permits residential uses, both seasonal and permanent types.

The Zoning By-law Amendment (ZBLA) Application

The ZBLA is required to permit the replacement dwelling, which will not be located closer to the waterfront than the existing dwelling.

1. Section 6.2.6.3 – Existing Structures

Notwithstanding the provisions of Section 6.2.6.3 (Existing Structures) a replacement dwelling shall be permitted, as confirmed by the structural building report prepared by J.R Lean Engineering, providing the dwelling has a water-yard setback of 15 metres.

2. Section 6.2.1 (I)

Notwithstanding the provisions of Section 6.2.1 (I) the maximum building height shall be 9.67 metres (front of building – water-yard).

The replacement dwelling otherwise conforms with the regulatory provisions of Section 6.2.1 (Regulations for Permitted Uses – Shoreline Residential Zone).

The proposed redevelopment otherwise conforms with regulatory provisions of the TZBL.

It is my Professional Planning Opinion that the Zoning By-law Amendment Application is in keeping with the general purpose and intent of the regulatory provisions of the Township of Douro-Dummer Zoning By-law.

Property Re-Development

The redevelopment of the property will adhere to the recommendations outlined in Section 8.2 of the EIS Report (Sumac).

Additionally, the redevelopment will be governed by the Building Permit and associated building construction process.

Summary

It is my Professional Planning Opinion that the Zoning By-law Amendment Application is:

- In Conformity with the policy directives of the 2024 Provincial Planning Statement;
- In Keeping with the general purpose and intent of the policies and land use designations of the County of Peterborough Official Plan (July 2022 Version);
- In Keeping with the general purpose and intent of the regulatory provisions of the Township of Douro-Dummer Zoning By-law;
- Supported by the following Reports:
 - i. Environmental Impact Study;
 - ii. Archaeological Assessment, Stage 1 – 2 Report; and
 - iii. Structural Assessment Report.
- **Is Representative of Good Planning.**

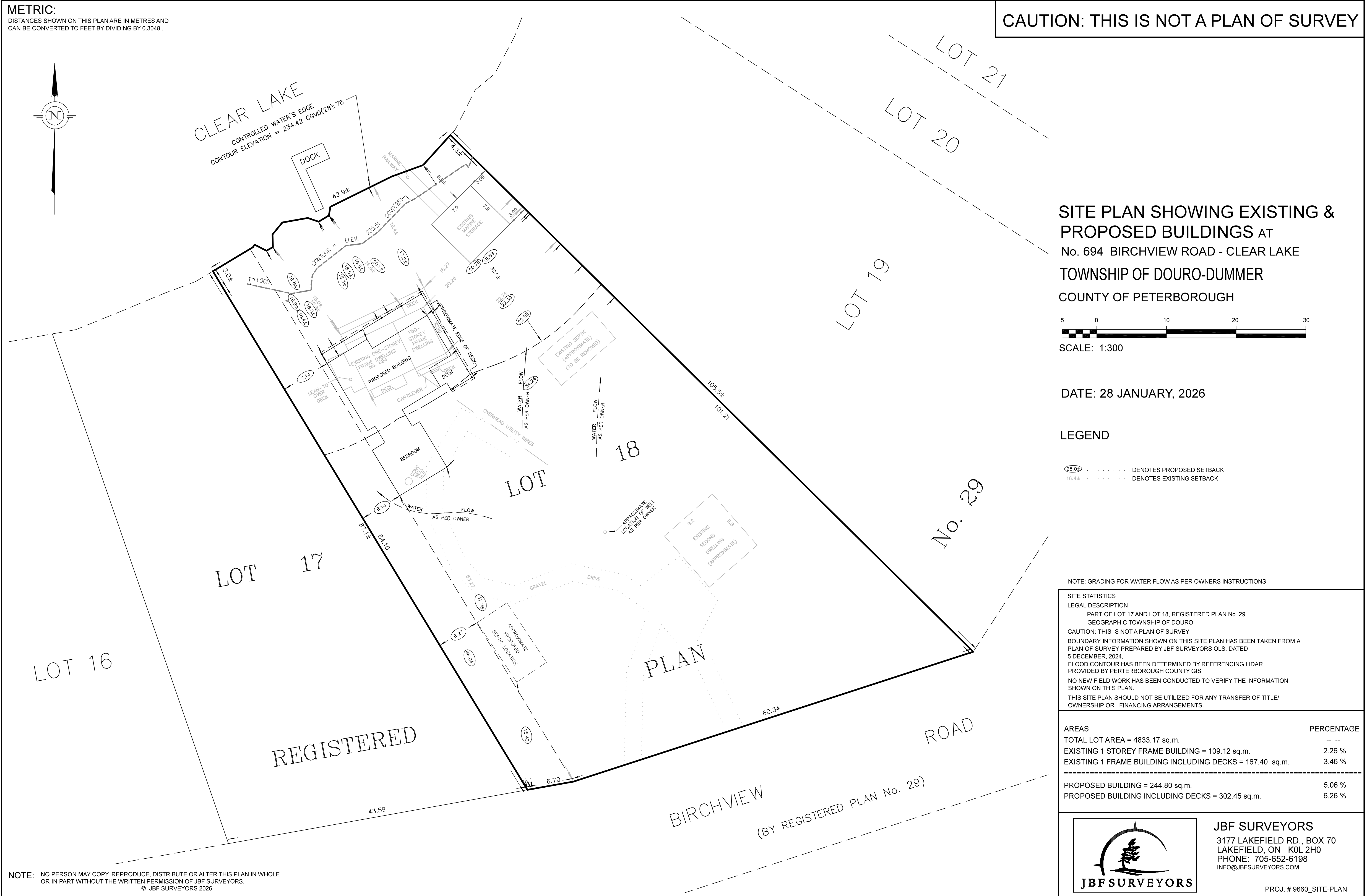
Respectfully Submitted,



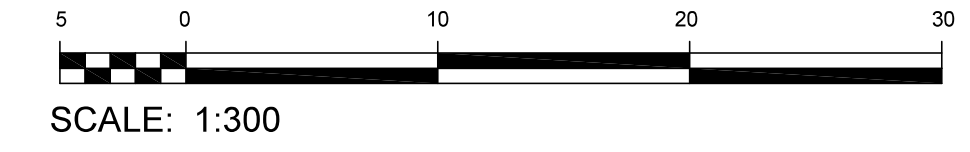
Kevin M. Duguay, MCIP, RPP

METRIC:
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

CAUTION: THIS IS NOT A PLAN OF SURVEY



SITE PLAN SHOWING EXISTING & PROPOSED BUILDINGS AT
No. 694 BIRCHVIEW ROAD - CLEAR LAKE
TOWNSHIP OF DOURO-DUMMER
COUNTY OF PETERBOROUGH



DATE: 28 JANUARY, 2026

LEGEND

- DENOTES PROPOSED SETBACK
- DENOTES EXISTING SETBACK

NOTE: GRADING FOR WATER FLOW AS PER OWNERS INSTRUCTIONS

SITE STATISTICS
LEGAL DESCRIPTION
PART OF LOT 17 AND LOT 18, REGISTERED PLAN No. 29
GEOGRAPHIC TOWNSHIP OF DOURO
CAUTION: THIS IS NOT A PLAN OF SURVEY
BOUNDARY INFORMATION SHOWN ON THIS SITE PLAN HAS BEEN TAKEN FROM A PLAN OF SURVEY PREPARED BY JBF SURVEYORS OLS, DATED 5 DECEMBER, 2024.
FLOOD CONTOUR HAS BEEN DETERMINED BY REFERENCING LIDAR PROVIDED BY PETERBOROUGH COUNTY GIS
NO NEW FIELD WORK HAS BEEN CONDUCTED TO VERIFY THE INFORMATION SHOWN ON THIS PLAN.
THIS SITE PLAN SHOULD NOT BE UTILIZED FOR ANY TRANSFER OF TITLE/ OWNERSHIP OR FINANCING ARRANGEMENTS.

AREAS	PERCENTAGE
TOTAL LOT AREA = 4833.17 sq.m.	100 %
EXISTING 1 STOREY FRAME BUILDING = 109.12 sq.m.	2.26 %
EXISTING 1 FRAME BUILDING INCLUDING DECKS = 167.40 sq.m.	3.46 %

PROPOSED BUILDING = 244.80 sq.m.	5.06 %
PROPOSED BUILDING INCLUDING DECKS = 302.45 sq.m.	6.26 %

JBF SURVEYORS
3177 LAKEFIELD RD., BOX 70
LAKEFIELD, ON K0L 2H0
PHONE: 705-652-6198
INFO@JBF SURVEYORS.COM

PROJ. # 9660_SITE-PLAN

NOTE: NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF JBF SURVEYORS.
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Township of Douro-Dummer Notice of Complete Application and Public Meeting Concerning a proposed Zoning By-law Amendment Application R-06-25

Take Notice that the Council of The Corporation of the Township of Douro-Dummer has received a complete application for Zoning By-law Amendment and will hold a public meeting to consider the proposed amendment to the Township of Douro-Dummer Comprehensive Zoning By-law under Section 34 of the Planning Act, R.S.O., 1990.

Date and Time: Tuesday, April 21, 2026, at 5:00 p.m.
Location: Council Chambers of the Municipal Office
 894 South Street, Warsaw ON and
 Electronic Meeting Site

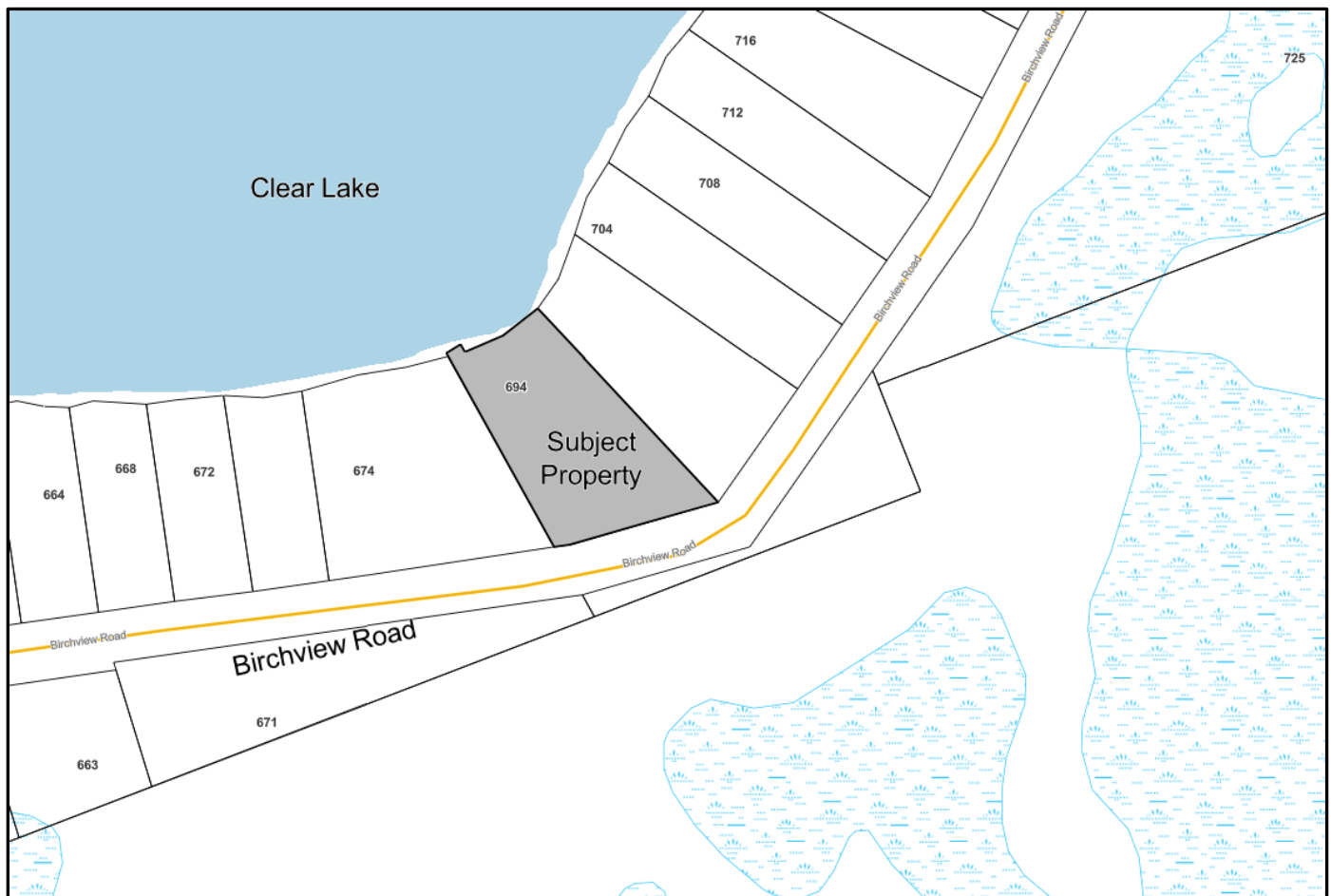
Public Hearing: The meeting will be held in person and electronically (virtual). Any person wishing to make written and/or oral submissions either in support of or opposition to the proposal must contact the Clerk by email at mchaithartwig@dourodummer.ca or call 705-652-8392 ext. 210 no later than 9:00 a.m. on the day of the scheduled public meeting. Please indicate if you wish to attend in person or virtually and you will be provided with the applicable instructions for participation.

If you wish to view the public meeting in real time, but do not wish to speak to the application, the meeting will be hosted on the [Township's YouTube Channel](#). The meeting will also be recorded and available after the meeting for public viewing on the same platform.

It is the responsibility of the interested member of the public to have technology in place to connect to the meeting.

Legal Description/ Address:	694 Birchview Road Part of Lot 25, Concession 2 (Douro Ward) Part 1, Plan 45R-17775 Roll No.: 1522-010-001-14600 A key map is provided on a subsequent page
Owner/Applicant:	Leslie Scott Moore
Agent:	KMD Planning Inc. c/o Kevin Duguay
File Name:	R-06-25
Related Applications:	None

Key Map:



Purpose and Effect of Application: On behalf of the Owner, Kevin Duguay (KMD Planning Inc.) has applied to amend the existing zoning of the property located at 694 Birchview Road, in the former Township of Douro, (now the Dummer Ward of the Township of Douro-Dummer) in the County of Peterborough.

The subject property is currently zoned the Shoreline Residential (SR) Zone as shown on Schedule B4 to By-law No. 10-1996, as amended. The property is currently developed with a one-storey dwelling with attached unenclosed decks, a boathouse, and a detached second dwelling unit. The existing dwelling and attached unenclosed decks are non-complying with a water yard setback of 15.9 m to the dwelling and 15.0 m to the attached unenclosed decks at the respective closest points.

The Owner is proposing to demolish the existing dwelling, having a ground floor area of 109.12 m² and a gross floor area of 120 m² and replace it with a new two-storey dwelling as shown on the Site Plan prepared by JBF Surveyors, dated January 28, 2026. The new dwelling is proposed have a ground floor area of 244.8 m² and a gross floor area of 310 m² and be located generally within the same footprint with the proposed expansion being towards the rear. The proposed redevelopment will not result in any further encroachment towards the waterbody.

The amendment proposes to rezone the subject property from the Shoreline Residential (SR) Zone to the Special District 267 (S.D. 267) Zone to facilitate the construction of a new two-storey dwelling with attached unenclosed decks. The S.D. 267 Zone will have the following effects:

1. Permit a minimum water yard of 18.3 m for the proposed dwelling and 16.5 m for the proposed attached decks whereas the minimum water yard otherwise required is 30 m.
2. Recognize the existing deficient shoreline frontage of 42.9 m whereas the minimum shoreline frontage otherwise required is 60 m.

All other applicable zones and provisions of By-law No. 10-1996, as amended will continue to apply.

Any person may attend the future public meeting when scheduled and/or make written or oral submissions either in support of or in opposition to the proposed zoning by-law amendment.

Additional Information relating to the proposed zoning by-law amendment is available by contacting the undersigned or by visiting the Township Website at:
<https://www.dourodummer.ca/news/>.

Accessibility: If you have accessibility needs and require alternative formats or other accommodations, please contact the undersigned.

Notification: If you wish to be notified of the decision of the Council of the Township of Douro-Dummer on the proposed zoning by-law amendment, you must make a written request to the Clerk of the Township of Douro-Dummer using the contact information provided below.

Privacy Disclosure: All written submissions, documents, correspondence, e-mails or other communications (including your name and address) are collected under the authority of the *Planning Act* and become part of the public record and may be made available for public viewing or distribution. Please note that by submitting any of this information, you are providing the Township with your consent to use and disclose this information as part of the planning process.

The Right to Appeal:

If a person or public body would otherwise have the ability to appeal the decision of the Township of Douro-Dummer to the Ontario Land Tribunal but the person or public body does not make oral submissions at the future public meeting or make written submissions to the Township of Douro-Dummer before the by-law is passed or refused, the person or public body is not entitled to appeal the decision.

If a person or public body does not make oral submissions at the future public meeting, or make written submissions to the Township of Douro-Dummer before the by-law is passed or refused, the person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated this 19th day of March 2026 at the Township of Douro-Dummer.

Martina Chait-Hartwig
Clerk – Deputy CAO
705-652-8392 Ext. 210
mchaithartwig@dourodummer.ca

Emily Fitzgerald
Planner
705-652-8392 Ext. 226
efitzgerald@dourodummer.ca

STRUCTURAL ASSESSMENT REPORT

Date: September 17, 2025

No. of Pages: 4 + Encl.

Project: Moore Cottage Structural Assessment

Project No.: LE-0579-25

Address: 694 Birchview Road, Douro-Dummer, ON

Client: Scott Moore

Distribution: Scott Moore Owner

Background

Jacob R. Lean Engineering has been retained by Scott Moore to provide a structural assessment of the existing cottage located at 694 Birchview Road, Douro-Dummer, ON. The cottage owner is proposing to renovate or rebuild the existing cottage to make it usable year-round. The purpose of this report is to provide insight on the structural condition of the building and its suitability for repair and re-use vs. removal and reconstruction.

No specifications or drawings have been prepared for the cottage; our review is intended to act only as a first step in determining areas of structural concern.

The undersigned attended the site on August 27, 2025, accompanied by the cottage owner, Scott Moore.

This report is based on a visual inspection only and does not include any destructive testing. Where no concerns were noted, the structure is assumed to be performing adequately. The structure is assumed to have been constructed in accordance with best building practices common at the time of construction. No further structural analysis or building code analysis has been carried out as part of this report unless specifically noted.



Photo 1 - Existing Cottage

Observations

The existing 1.5 storey wood-framed cottage had an approximate plan area of 1000 sq. ft. The age of the main cottage is approximately 75 years old with an addition built on 42 years ago.

The general construction of the cottage structure reviewed was as follows:

- **Foundation system:** 6"x16" concrete strip footings with 2 rows of hollow 8" concrete block bearing just below grade. No frost cover or protection provided.
- **Exterior Walls:** wood stud walls clad with vertical wood siding. No insulation or vapor barrier was observed.
- **Floor Framing:** mixture of 2x6 & 2x8 wood floor joists.
- **Roof Framing:** steel roof on wood rafters.

Comments

The existing cottage structure was in overall poor condition with portions in fair condition. The primary areas of concern are noted below:

1. The concrete block foundation under the cottage is deteriorating. Lack of a frost protected foundation has led to shifting and settlement of the building which was evident inside and outside the cottage. Refer to Photo 2. The sill plates along the top of the foundation also showed extensive rot along the driveway side of the cottage where grade was highest.
2. The main floor framing over the 16'x24' shop in the basement was structurally inadequate for current occupancy loads as specified in the Ontario Building Code due to over spanned floor beams and floor joists. Refer to Photo 3.
3. The floor framing supporting the second-floor area was also structurally deficient with 2x6 at 24" on center spacing spanning 12'-6" and a built-up 2x8 flush beam spanning 16'-0" while supporting 12'-0" of floor area. Refer to photo 4.
4. The lakeside deck was improperly framed using a single ply beam nailed to face of deck posts.
5. The building envelope of the cottage was in very poor condition. Lack of vapor barrier, inconsistent insulation, and old windows make any cold weather use unfeasible without moisture accumulating in the wall and ceiling cavities. Refer to Photo 5.

Based on our site observations, it is our opinion that the existing cottage, especially the foundation and building envelope cannot be repaired or renovated to a 4-season level of performance consistent with the Ontario Building Code without lifting the existing cottage and rebuilding large portions of the building. We therefore recommend removing and reconstructing the building instead of attempting to renovate or repair.

Please contact the undersigned if you have any questions regarding the contents of this report.

Per



Jacob Lean, P.Eng.
Structural Engineer
Jacob R. Lean Engineering Ltd.



Encl. Site Photographs – 2 pages



Photo 2 – Existing Non-frost Protected Foundation



Photo 3 – Condition of Main Floor Framing



Photo 4 – Over spanned 2nd Floor Framing



Photo 5 – Lack of Building Envelope

Version 1.1

694 Birchview Road in the
Township of Douro-Dummer

September 2025

Environmental Impact Study





Sumac Environmental Consulting
244 Barrie Street, Thornton Ontario, L0L 2N0
Tel: (249) 880-4676
sumacenvironmental@gmail.com
www.sumacenvironmental.ca

September 23, 2025

SEC 25-048

Scott Moore
694 Birchview Road
Lakefield, Ontario
K0L 2H0

c/o KMD Planning Inc.
560 Romaine Street
Peterborough, Ontario
K9J 2E3

Re: Environmental Impact Study at 694 Birchview Road in the Township of Douro-Dummer

Dear Mr. Moore,

Thank you for retaining Sumac Environmental Consulting to prepare an Environmental Impact Study at 694 Birchview Road in the Township of Douro-Dummer. The following report identifies the form and function of natural heritage on the subject property and assesses the potential impacts to said features with respect to a proposed redevelopment. Recommendations and mitigation strategies have been included. This report has been prepared for Scott Moore and the undersigned accepts no responsibility for future use by other parties.

We thank you for the opportunity to be part of this project and should you have any questions, please do not hesitate to contact the undersigned.

Sumac Environmental Consulting

A handwritten signature in cursive script, appearing to read "C Fligg".

Cassandra Fligg, M.Sc.
Environmental Consultant

A handwritten signature in cursive script, appearing to read "Nathan Fligg".

Nathan Fligg, M.Sc.
Environmental Consultant/GIS Technician

Report Summary

Sumac Environmental Consulting has prepared an Environmental Impact Study at 694 Birchview Road in the Township of Douro-Dummer. It is our understanding that this report has been requested by the Township of Douro-Dummer in response to a development application that supports the re-construction of an existing dwelling on the subject property. Site visits were carried out in spring and summer of 2025 to examine natural features that have the potential of being impacted by a proposed development. A Species at Risk Habitat Assessment was completed to screen for absent, candidate and confirmed habitat of endangered and threatened species (HETS). A Significant Wildlife Habitat (SWH) Assessment was completed to screen for absent, candidate and confirmed SWH. Fish habitat, HETS, SWH and significant woodland were identified as occurring on or near the subject property. Significant impacts to the identified features are not anticipated, should the proponent follow the recommendations provided herein.

The recommendations provided in Section 8.2 are summarized as follows:

- All disturbed portions of the subject property should be re-seeded and planted with native non-invasive vegetation immediately following the completion of site works.
- Tree preservation hoarding should be used during construction to protect the remaining treed communities.
- A silt fence should be used during construction to protect aquatic features.
- An emergency response plan should be prepared for all works involving machinery in case of fluid leaks.
- All machinery should be kept in a clean condition and free of fluid leaks.
- Washing, fueling and servicing machinery should not occur within 30 m of aquatic features.
- Stockpiling of fill and/or construction material should not occur within 30 m of aquatic features.
- To protect breeding migratory birds, vegetation removal should not occur between April 1 and August 31 of any given year unless otherwise directed by a biologist or other qualified person at the time of site works.
- To protect roosting bats, tree removal should not occur between April 1 and November 30 of any given year unless otherwise directed by a biologist or other qualified person at the time of site works.
- To protect breeding monarch, vegetation removal should not occur between June 1 and September 30 of any given year unless otherwise directed by a biologist or other qualified person at the time of site works.
- Encountered wildlife should be allowed to exit the site on their own, via safe routes, or be removed/relocated by qualified wildlife service providers working in accordance with applicable laws.

Key Staff

Environmental Consultant – Cassandra Fligg, M.Sc.

Mrs. Fligg received a master's degree in science (biology) from Lakehead University. She has previously been qualified as an Ecologist with expertise in natural heritage and freshwater ecology by the Ontario Land Tribunal. Mrs. Fligg is proficient in the preparation of natural heritage reports in southern and central Ontario, particularly those that include policy of the Lake Simcoe Protection Plan, Greenbelt Plan, Oak Ridges Moraine Conservation Plan and Niagara Escarpment Plan. She has prepared species at risk screenings to the satisfaction of the Ministry of Environment, Conservation and Parks and assisted proponents in demonstrating avoidance to the harm and/or destruction of species at risk and their habitat, and navigated proponents through the overall benefit permit process where complete avoidance was not possible. Mrs. Fligg is a certified arborist as recognized by the International Society of Arboriculture, certified butternut health assessor as recognized by the Ministry of Natural Resources and Forestry, certified level 2 backpack electrofisher (crew leader) and has completed a fish identification workshop, turtle identification and handling workshop, and diatom algae culture and isolation workshop.

Environmental Consultant – Nathan Fligg, M.Sc.

Mr. Fligg is a well-versed ecologist with more than 15 years experience in both plant and wildlife identification. He is actively building on his identification skills and knowledge through the review of relevant flora literature and the undertaking of field studies for Sumac's natural heritage reports and species at risk screenings in southern and central Ontario. Mr. Fligg has performed various habitat and species-specific studies across southern and central Ontario to the satisfaction of municipalities, conservation authorities, environmental associations, land trust organizations, Niagara Escarpment Commission, Department of Fisheries and Oceans Canada, Ministry of Natural Resources and Forestry, as well as, the Ministry of Environment, Conservation and Parks. Mr. Fligg completed an undergraduate degree in Environmental Sustainability and further went on to receive a master's degree in science from Lakehead University. He is a provincially certified wetland evaluator, certified butternut health assessor, certified level 2 backpack electrofisher (crew leader) and is experienced in the safe handling and release of small mammals, birds, fish, amphibians and reptiles.

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- Appendix B: Natural Heritage Areas Mapping

1.0 Introduction

Sumac Environmental Consulting (Sumac) was retained to prepare an Environmental Impact Study (EIS) at 694 Birchview Road in the Township of Douro-Dummer (hereinafter referred to as the 'subject property'). It is our understanding that an EIS has been requested by the Township of Douro-Dummer in response to a development application that supports the re-construction of an existing dwelling on the subject property.

The subject property is approximately 0.4 ha in size and consists of a single-family dwelling, accessory buildings, gravel driveway, landscaping, maintained lawn and natural cover (Figure 1). The subject property is situated on the shoreline of Clear Lake. According to the County of Peterborough GIS mapping, the subject property is located within the 'Lakeshore Residential' and 'Environmental Constraint' land use designations. The surrounding area is predominantly composed of lakeshore residential properties, open water and natural cover.

2.0 Planning Context

2.1. Federal

2.1.1. Fisheries Act

The fish and fish habitat protection provisions of the *Fisheries Act* include two (2) core prohibitions against persons carrying on works, undertaking or activities that result in the following:

- the death of fish, by means other than fishing; and
- the harmful alteration, disruption, or destruction of fish habitat.

2.1.2. Migratory Birds Convention Act

The purpose of the *Migratory Birds Convention Act* is to implement the Convention by protecting and conserving migratory birds – as populations and individual birds – and their nests. Migratory Birds Regulations is a regulation made under the *Migratory Birds Convention Act*. Section 5 (1) of the Migratory Birds Regulation states that a person must not engage in any of the following activities unless they have a permit that authorizes them to do so or they are authorized by these Regulations to do so:

- (a) capture, kill, take, injure or harass a migratory bird or attempt to do so;
- (b) destroy, take or disturb an egg; and
- (c) damage, destroy, remove or disturb a nest, nest shelter, eider duck shelter or duck box.

2.2. Provincial

2.2.1. Endangered Species Act

Ontario's *Endangered Species Act* (ESA) provides protection, designation, recovery and other relevant aspects of conservation for species at risk, including habitat protection in the province.

As per Section 9 (1) of the ESA, no person shall

- a. kill, harm, capture or take a living member of a species that is listed on the Species at Risk in Ontario List as an extirpated, endangered or threatened species;
- b. possess, transport, collect, buy, sell, lease, trade or offer to buy, sell, lease or trade,
 - (i) a living or dead member of a species that is listed on the Species at Risk in Ontario List as an extirpated, endangered or threatened species,
 - (ii) any part of a living or dead member of a species referred to in subclause (i),
 - (iii) anything derived from a living or dead member of a species referred to in subclause (i); or
- c. sell, lease, trade or offer to sell, lease or trade anything that the person represents to be a thing described in subclause (b) (i), (ii) or (iii). 2007, c. 6, s. 9 (1).

As per Section 10 (1) of the ESA, no person shall damage or destroy the habitat of,

- a. a species that is listed on the Species at Risk in Ontario List as an endangered or threatened species; or
- b. a species that is listed on the Species at Risk in Ontario List as an extirpated species, if the species is prescribed by the regulations for the purpose of this clause. 2007, c. 6, s. 10 (1).

2.2.2. Fish and Wildlife Conservation Act

The *Fish and Wildlife Conservation Act* aims to conserve and manage fish and wildlife in Ontario.

Section 7 (1) of the *Fish and Wildlife Conservation Act* states that a person shall not destroy, take or possess the nest or eggs of a bird that belongs to a species that is wild by nature.

Section 8 (2) of the *Fish and Wildlife Conservation Act* states that a person shall not intentionally damage or destroy the den or habitual dwelling of a furbearing mammal, other than a fox or skunk, unless the person holds a licence to trap furbearing mammals.

2.2.3. Provincial Planning Statement

As per Section 4.1.4 of the Provincial Planning Statement, development and site alteration shall not be permitted in significant wetlands in Ecoregions 6E.

As per Section 4.1.5 of the Provincial Planning Statement, development and site alteration shall not be permitted in significant woodlands in Ecoregions 6E, significant valleylands in Ecoregions 6E, significant wildlife habitat, and significant areas of natural and scientific interest unless it has been demonstrated that there will be no negative impacts on the natural features or their ecological functions.

As per Section 4.1.6 of the Provincial Planning Statement, development and site alteration shall not be permitted in fish habitat except in accordance with provincial and federal requirements.

As per Section 4.1.7 of the Provincial Planning Statement, development and site alteration shall not be permitted in habitat of endangered species and threatened species, except in accordance with provincial and federal requirements.

As per Section 4.1.8 of the Provincial Planning Statement, development and site alteration shall not be permitted on adjacent lands to the natural heritage features and areas identified in policies 4.1.4, 4.1.5, and 4.1.6 unless the ecological function of the adjacent lands has been evaluated and it has been demonstrated that there will be no negative impacts on the natural features or on their ecological functions.

2.2.1. Conservation Authorities Act

Regulated lands of the Otonabee Region Conservation Authority (ORCA) have been mapped on the subject property (Appendix A). Conservation Authorities are empowered by the *Conservation Authorities Act* to regulate development and activities in or adjacent to river or stream valleys, Great Lakes and inland lakes' shorelines, watercourses, hazardous lands and wetlands.

2.3. Municipal

2.3.1. County of Peterborough Official Plan

As per the County of Peterborough Official Plan (office consolidation 2022), the following land use designations have been mapped on the subject property:

- Lakeshore Residential (County GIS mapping); and
- Environmental Constraint (County GIS mapping).

As per Section 4.1.3.4 of the County of Peterborough Official Plan (office consolidation 2022), local plans will prohibit development and site alterations within the following types of significant natural heritage features:

- significant wetlands;

- significant portions of the habitat of endangered and threatened species;

Moreover, local plans may permit development and site alteration in:

- significant woodlands south and east of the Canadian Shield;
- significant valleylands south and east of the Canadian Shield;
- significant wildlife habitat; and;
- significant areas of natural and scientific interest;

Development and site alteration will not be permitted in fish habitat except in accordance with provincial and federal requirements.

Moreover, development or site alteration such as filling, grading and excavating may be permitted within or adjacent to the remaining natural heritage features listed in Section 4.1 of this Plan, provided that it has been demonstrated by an Environmental impact assessment that there will be no negative impacts on the natural features or ecological functions for which the area is identified.

As per Section 4.4.3 of the County of Peterborough Official Plan (office consolidation 2022), notwithstanding any other policy of Section 4.4.3, local plans and zoning by-laws will require that all new development and leaching beds be set back at least 30 metres from the ordinary high water marks of all waterbodies. Excepted from this requirement are marina facilities, and other water access facilities, pumphouses, and minor accessory buildings and structures as defined in zoning by-laws.

As per Section 6.2.6.2 of the County of Peterborough Official Plan (office consolidation 2022), the predominant use of land within the Lakeshore Residential designation shall be for permanent single-detached dwellings and seasonal cottages on public roads.

As per Section 6.2.6.3 c. of the County of Peterborough Official Plan (office consolidation 2022), with respect to Lakeshore Residential Policies, structures permitted in the Lakeshore Residential designation, including leaching beds of septic systems, on lots created by consent or plan of subdivision after the date Official Plan Amendment No.3 comes into effect, shall be set back a minimum of 30 metres from the shoreline of any lake or major watercourse in order to ensure adequate protection from changes in water level and flooding and to ensure maintenance of water quality and the protection of fish and wildlife habitats.

Moreover, notwithstanding anything in this section to the contrary, structures such as pump houses, boat houses, docks, open decks and stairs shall be a permitted use and may encroach into the 30 metre setback without a minor variance provided that the property owner can demonstrate

to the Township's satisfaction and, if appropriate, the authority having jurisdiction over the waterway, that it does not negatively affect the waterfront environment.

Moreover, structures legally existing as of the date Official Plan Amendment No.3 comes into effect (October 22, 2008) that do not comply with the required water setback provision that require replacement due to structural defects or destruction by fire or other natural causes or by permission of the Township will be permitted to be replaced on the same footprint and may only be enlarged in accordance with the provisions of the Zoning By-law, and where the enlargement does not further encroach into the 30 metre water setback.

Moreover, sewage system leaching beds requiring replacement due to structural damage or malfunction should be set back a minimum of 30 metres from the high water mark if possible or to the greatest setback that is achievable to the satisfaction of the Peterborough County-City Health Unit. Due to their importance to ensuring public health and/or safety, a minor variance will not be required in the case where the replacement leaching beds must be located within the 30 metre water setback.

Moreover, with respect to existing structures, minor variances or zoning changes to accommodate proposed expansions of a structurally-permanent nature to existing structures and/or septic systems that further reduce any applicable minimum water setback shall not be permitted unless it is a matter of public health and/or safety.

As per Section 6.2.15.2 of the County of Peterborough Official Plan (office consolidation 2022), with respect to permitted uses, the predominant use of land within the Environmental Constraint designation is the preservation and conservation of the natural environment.

2.3.1. Township of Douro-Dummer

The Township of Douro-Dummer has included their local policies in the County Official Plan.

3.0 Background Review

The following resources were reviewed to gain a deeper understanding of natural heritage with the potential of occurring on the subject property and adjacent lands (i.e., up to 120 m):

- Atlas of the Mammals of Ontario (Dobbyn, 1994);
- Atlas Square No. 17QK22 of the Ontario Butterfly Atlas;
- Atlas Square No. 17QK22 of the Ontario Reptile and Amphibian Atlas;
- Atlas Square No. 17QK2229 and 17QK2129 of the Natural Heritage Information Centre;
- Atlas Square No. 17TQK22 of the Ontario Breeding Bird Atlas;

- County of Peterborough Official Plan (office consolidation 2022);
- Department of Fisheries and Oceans Canada Aquatic Species at Risk Map;
- eBird;
- iNaturalist;
- Land Information Ontario;
- Ministry of Natural Resources (MNR) Aquatic Resources Area Mapping; and,
- Peterborough County Official Plan (June 2022 draft).

Given the relevant planning jurisdiction, the following features are being considered in the EIS, where applicable to the subject property and adjacent lands:

- Areas of Natural and Scientific Interest (ANSI);
- Fish Habitat;
- Habitat of Endangered and Threatened Species;
- Significant Valleylands;
- Significant Wetlands;
- Significant Wildlife Habitat; and
- Significant Woodlands.

4.0 Characterizing the Natural Environment: Approach and Methodology

4.1. Vegetation

4.1.1. Botanical Inventory

A vascular plant inventory was completed on June 6, 2025 for the vegetation communities that occur on or extend onto the subject property.

4.1.2. Vegetation Communities

Orthographic imagery of the subject property and adjacent lands was used for the basis of Ecological Land Classification (ELC) and further refined through a ground-truthing exercise on June 6, 2025. Vegetation communities were classified following protocol of the Ecological Land Classification (ELC) for Southern Ontario (Lee, H. et al., 1998) and associated Vegetation Type List (Lee, H., 2008), where applicable.

4.2. Area of Natural and Scientific Interest

Background mapping from the MNR was reviewed to identify the nearest ANSI.

4.3. Fish Habitat

Fish habitat is defined in subsection 2(1) of the *Fisheries Act* to include all waters frequented by fish and any other areas upon which fish depend directly or indirectly to carry out their life processes. The subject property, including its shoreline, was screened on June 6, 2025 for evidence of supporting features to fish habitat associated with Clear Lake. Fish habitat and supporting features to fish habitat were mapped and characterized accordingly.

4.4. Habitat of Endangered and Threatened Species

For the purpose of this study, we have defined “Species at Risk” (SAR) to include species designated special concern, threatened and endangered under O. Reg. 230/08 in accordance with the ESA. Species occurrence data from sources outlined in Section 3.0 of this report was used to determine which species at risk are known to occur in proximity to the subject property. An ELC exercise was completed to identify potential habitat opportunities for the listed species at risk. A SAR Habitat Assessment was completed to identify candidate, confirmed and absent SAR habitat on the subject property.

4.4.1. Birds

Two (2) dawn breeding bird surveys were completed in general accordance with dawn breeding bird survey protocol (OBBA, 2021). Surveys were completed within the first five (5) hours after dawn between May 24 and July 10. The first survey was completed on or before June 15. The second survey was completed on or after June 15. Surveys were not completed during events of precipitation, fog or high winds (i.e., up to 3 on the Beaufort wind scale). A single point count stations were used to carry out the surveys (Figure 2). The survey conditions were as follows:

Date	Surveyor(s)	Time	Temp.	Cloud Cover	Wind	Precip.
June 6, 2025	Nathan Fligg	0820-0825	18°C	70%	B1	Nil.
July 5, 2025	Nathan Fligg	0805-0810	19°C	50%	B0	Nil.

4.4.2. Mammals

Passive acoustic monitoring for bats was completed on the evenings of June 23rd to July 7th of 2025 at two (2) monitoring stations using the Song Meter Mini Bat by Wildlife Acoustics to ensure full coverage of the subject property. Data was initially analyzed using Kaleidoscope Pro Analysis Software. Individual wavelengths and frequency of each recording was further scrutinized by Sumac staff to appropriately evaluate species presence.

4.5. Valleyland

The subject property was screened for valleyland associated with flowing water. If present, valleyland was assessed for significance using the recommended evaluation criteria and standards

as described in the Natural Heritage Reference Manual for Natural Heritage Policies of the Provincial Policy Statement (MNR, 2005).

4.6. Wetland

The subject property was screened on June 6, 2025 for wetland feature(s) and if present, delineated following the appropriate method (e.g., 50% vegetation rule) as described in the Ontario Wetland Evaluation System: Southern Manual 4th Edition. Digital terrain models and orthographic imagery were used to identify candidate wetland on the adjacent lands.

4.7. Wildlife Habitat

Incidental observations of wildlife, wildlife signs (e.g., scat, tracks, remains of food, claw marks on trees or shrubs, trails or corridors, stunted vegetation, stick nests, turned stones) and habitat opportunities were noted during Sumac's field investigations.

The potential for Significant Wildlife Habitat (SWH) on the subject property was assessed following criteria and thresholds outlined in the Significant Wildlife Habitat Criteria Schedules for Ecoregion 6E (MNR, 2015).

4.8. Woodland

The ELC approach for defining "forest" using canopy cover was used to delineate woodland patches that occur on or extend onto the subject property on June 6, 2025. If present, woodland patches were mapped and characterized. Woodland significance was assessed using the recommended evaluation criteria and standards as described in the Natural Heritage Reference Manual for Natural Heritage Policies of the Provincial Policy Statement (MNR, 2005).

5.0 Data Analysis

5.1. Vegetation

5.1.1. Botanical Inventory

A list of vascular plant species for the vegetation communities that extend onto the subject property has been provided for reference (Table 1).

5.1.2. Vegetation Communities

The subject property contained three (3) distinct vegetation communities (Figure 2):

1. CVR_3 Single-family Residential: Approximately 1,641 m² of maintained land occurred throughout central and northern portions of the subject property. This area contained a

- single-family dwelling and amenities (i.e., accessory buildings, gravel driveway, landscaping and maintained lawn).
2. FOM2-2 Dry – Fresh White Pine – Sugar Maple Mixed Forest Type: Approximately 2,522 m² of mixedwood forest occurred throughout the property and extended into the adjacent lands. A mature canopy consisted mostly of sugar maple with Eastern white pine, Northern red oak, and basswood. A moderately developed understory consisted mostly of sugar maple, basswood and ironwood. A sparse shrub layer consisted of various species (e.g., Eastern prickly gooseberry, European buckthorn, maple-leaved viburnum, etc.). The ground level was sparsely vegetated with forbs (e.g., red baneberry, wild sarsaparilla, white trillium, etc.).
 3. OA Open Water: The shoreline of Clear Lake occurred along the northern edge of the subject property. The foreshore was unvegetated, consisting mostly of boulder and cobble. The foreshore contained very sparse cover with submergent vegetation (i.e., American eelgrass) amongst cobble, gravel and sand.

5.2. Area of Natural and Scientific Interest

The nearest ANSI, Youngs Point White Pine Stand, is mapped approximately 1.7 km west of the subject property (Appendix B). No further analysis required.

5.3. Fish Habitat

Data extracted from the MNR Aquatic Resource Area database identified Clear Lake as exhibiting a warm water thermal regime with documented occurrences of a variety of fish species (e.g., black crappie, bluegill, golden shiner, lake whitefish, largemouth bass, logperch, muskellunge, pumpkinseed, rock bass, smallmouth bass, walleye, white sucker, yellow perch etc.). The Ordinary High Water Mark (OHWM) was recorded during Sumac's field investigations and has been mapped for reference (Figure 3).

5.4. Habitat of Endangered and Threatened Species

No endangered or threatened plant species were encountered on the subject property (Table 1).

No endangered or threatened bird species were observed during the dawn breeding bird surveys nor through incidental occurrence (Table 2).

Acoustic monitoring detected the following bat species on the subject property:

- Big Brown Bat;
- Eastern Red Bat;
- Hoary Bat;

- Silver-haired Bat;
- Little Brown Myotis; and
- Tri-colored Bat.

The SAR Habitat Assessment identified candidate and confirmed habitat of the following endangered species on the subject property (Table 2).

5.4.1. Mammals

Eastern Red Bat: Acoustic monitoring detected Eastern red bat on the subject property. Roosting habitat likely includes the identified significant woodland feature. Foraging habitat likely includes the shoreline and forest edge.

Hoary Bat: Acoustic monitoring detected hoary bat on the subject property. Roosting habitat likely includes the identified significant woodland feature. Foraging habitat likely includes the shoreline and forest edge.

Little Brown Myotis: Acoustic monitoring detected little brown myotis on the subject property. Roosting habitat likely includes the identified significant woodland feature, as the existing dwelling did not exhibit notable entry points for bats. Foraging habitat likely includes the shoreline and forest edge.

Silver-haired Bat: Acoustic monitoring detected silver-haired bat on the subject property. Roosting habitat likely includes the identified significant woodland feature. Foraging habitat likely includes the shoreline and forest edge.

5.5. Valleyland

The topography on the subject property was not suggestive of the presence of valley or other landform depression associated with flowing water. No further analysis required.

5.6. Wetland

No wetland encountered on the subject property. No further analysis required.

5.7. Wildlife Habitat

The following observations were noted during Sumac's field investigations:

- American Mink (*Neovison vison*);
- Eastern Chipmunk (*Tamias striatus*);

- Gray Treefrog (*Hyla versicolor*);
- Quagga Mussel (*Dreissena bugensis*);
- Rusty Crayfish (*Faxonius rusticus*); and
- Zebra Mussel (*Dreissena polymorpha*).

The SWH Assessment identified two (2) candidate SWH as occurring on the subject property.

5.7.1. Seasonal Concentration Areas of Animals

Bat Maternity Colonies: The FOD5 and FOM2-2 communities have the potential of containing bat maternity roost sites and functioning as the SWH, Bat Maternity Colonies.

5.7.2. Habitats of Species of Conservation Concern Considered SWH

Special Concern and Rare Wildlife Species: No provincially rare plant species were encountered on the subject property (Table 1). No provincially rare bird species were observed on the subject property during (Table 2). Habitat for special concern species has the potential of occurring on the subject property (Table 3).

Monarch: Monarch breeding may occur in the FOM2-2 community where common milkweed is found. No area with an abundance of favorable nectar sources for monarch identified on the subject property.

Northern Map Turtle: Northern map turtle may utilize the rocky shoreline of Clear Lake for basking, should this species be present. No high-quality turtle nesting habitat identified on the subject property.

5.8. Woodland

The forested communities that occur on the subject property (i.e., FOD5 and FOM2-2 communities) for part of a woodland feature that extends across the greater landscape, measuring greater than 100 ha in size. According to the Otonabee Region Watershed Report Card (2023), woodland cover in this jurisdiction is approximately 42%. According to the Natural Heritage Reference Manual, where woodland cover is about 30-60% of the land cover, woodlands 50 ha in size or larger should be considered as significant. As such, the forested communities that occur on the subject property would be considered as significant woodland.

6.0 Project Description

The proposed development supports the reconstruction of an existing dwelling, decommissioning and removal of an existing septic system and construction of a new septic system on the subject

property. The impact assessment below reviews impacts associated with a development contained within the Area of Work, as depicted on Figure 3.

7.0 Impact Assessment

7.1. Vegetation

Up to 387 m² and 556 m² of the FOM2-2 and CVR_3 communities will be disturbed to facilitate the proposed development, respectively. The proponent is encouraged to re-vegetate all disturbed areas remaining post-development with non-invasive native trees, shrubs and groundcover, where feasible (Section 8.2.2). Bird-friendly design is recommended due to proximity of the proposed dwelling to natural cover (Section 8.2.1).

7.2. Fish Habitat

The proposed development is not located in Clear Lake and as such, no direct impacts to fish habitat are anticipated. The existing building is located approximately 14.8 m to the OHWM. The proposed building is located approximately 15.3 m from the OHWM. The existing septic system is being decommissioned and removed. The proposed septic system is located more than 30 m from the OHWM.

The proposed building is set further away from Clear Lake and with consideration of nutrient loading, the new septic system will be located an appropriate distance away from Clear Lake. Site specific measures are recommended to protect fish habitat during construction (Section 8.2.3 and 8.2.4).

7.3. Habitat of Endangered and Threatened Species

7.3.1. Mammals

Eastern Red Bat, Hoary Bat, Little Brown Myotis and Silver-haired Bat: Although tree removal from the FOM2-2 community is required to facilitate the proposed development, this amount of removal would be considered very small (<0.1%) relative to the remaining amount of available roosting habitat for Eastern red bat, hoary bat, little brown myotis and silver-haired bat.

Moreover, the proposed development is not anticipated to significantly impair or eliminate the available candidate foraging habitat (e.g., forest edge, shoreline) for said species. To protect roosting migratory bats, tree clearing should not occur during the active bat window (Section 8.2.5).

7.4. Wildlife Habitat

7.4.1. Seasonal Concentration Areas of Animals

Bat Maternity Colonies: Although tree removal from the FOM2-2 community is required to facilitate the proposed development, this amount of removal would be considered very small (<0.1%) relative to the remaining amount of available maternity roosting habitat for migratory bats. To protect roosting migratory bats, tree clearing should not occur during the active bat window (Section 8.2.5).

7.4.2. Habitats of Species of Conservation Concern Considered SWH

Special Concern and Rare Wildlife Species:

Monarch: The proposed development will not remove all common milkweed that occurs on the subject property. Monarch are known to be habitat generalists and will likely utilize areas beyond the limits of the subject property to carry out essential life processes, such as breeding, post-development. To protect breeding monarch, vegetation clearing should not occur between June 1 and September 30 of any given year unless otherwise directed by a biologist or other qualified person at the time of site works (Section 8.2.5).

Northern Map Turtle: No site alteration is proposed at the shoreline of Clear Lake and as such, no negative impacts to Northern map turtle and their habitat are anticipated.

7.5. Woodland

Although tree removal from the FOM2-2 community is required to facilitate the proposed development, this amount of removal would be considered very small (<0.1%) relative to the remaining amount of significant woodland. As such, no significant impacts to the overall form and function of significant woodland are anticipated. Site specific measures are recommended to protect the remaining treed communities (Section 8.2.3).

8.0 Conclusion and Recommendations

8.1. Conclusion

Should the proponent adhere to the proposed development plan and follow the prescribed recommendations as noted below (Section 8.2), negative impacts to the overall form and function of the identified natural heritage on the subject property will be appropriately mitigated. Furthermore, it is our understanding that the proposed development as described herein would not contravene applicable environmental policy and regulations as described in Section 2.0 of this report.

8.2. Recommendations

8.2.1. Bird-Friendly Design

We recommend the use of warm-colored and low lumen lighting directed away from the remaining natural cover in the design of the proposed dwelling to limit light spill and pollution.

8.2.2. Native Plantings

Disturbed areas should be re-seeded and planted with native non-invasive vegetation following construction, where feasible. The proponent should consult with the associated landscape professional supplying and/or planting the trees, shrubs and groundcover to discuss the appropriate fertilizing, watering and/or mulching schedule. Deciduous trees should be planted in the spring, following thaw, or in the fall, during leaf-off until freeze-up. Conifers should be planted in the spring until four weeks after deciduous trees have opened their leaves, or in the fall until freeze-up. Shrubs and ground cover can be planted in spring (e.g., April 15 to mid-June) and/or fall (e.g., September 1 to October 15). All conifers should be inspected for girdling roots before planting. Conifers that have extensive girdling should not be used. Nursery stock trees should be planted as soon as possible after delivery.

8.2.3. Perimeter Control

Tree preservation hoarding is recommended to protect the remaining treed communities. The fence should be erected prior to the onset of siteworks and must remain in place for the duration of all construction activity. The recommended location of the fence is depicted on Figure 3. We recommend diligent monitoring of said fence throughout the entirety of the development to ensure the integrity of the fence does not fail. Tree preservation hoarding should meet municipal standards and specifications. In the absence of municipal standards and specifications, the following standards and specifications may be used:

- Orange high density polyethylene with 8.89 cm x 3.81 openings should be used for fencing material.
- Fence height should be a minimum of 1.2 m.
- Steel posts should be installed for support and spaced 2.43 m on center.
- Steel posts dimensions should be 5 cm x 1.82 m.
- Installation of tree preservation hoarding should not alter the existing grade unless otherwise indicated on the plans.
- Signage laminated in plastic should be affixed to the fencing, spaced every 15 m. Signage should read “KEEP OUT TREE PROTECTION AREA”.

A silt fence consisting of non-woven geotextile material wire looped to wooden/metal stakes installed at 2-m intervals for support should be erected prior to the onset of siteworks to protect

aquatic features. The proposed location of silt fence has been depicted on Figure 3. The silt fence should remain in place for the duration of all construction activity. The silt fence should be buried into the ground a minimum 30 cm and compacted with native materials. We recommend diligent monitoring of said fence throughout the entirety of the development to ensure the integrity of the fence does not fail.

8.2.4. Preventing Entry of Deleterious Substances in Aquatic Feature(s)

Deleterious substances should never be deposited and/or enter aquatic features. A response plan should be prepared prior to the onset of site works and an emergency spill kit should be kept on-site during site activities. All machinery should be kept in a clean condition and free of fluid leaks. Washing, fueling and servicing machinery should not occur within 30 m of aquatic features. Stockpiling of fill and/or construction material should not occur within 30 m of aquatic features.

8.2.5. Sensitive Timing Window

To protect breeding migratory birds, vegetation removal should not occur between April 1 and August 31 of any given year unless otherwise directed by a biologist or other qualified person at the time of site works.

To protect roosting bats, tree removal should not occur between April 1 and November 30 of any given year unless otherwise directed by a biologist or other qualified person at the time of site works.

To protect breeding monarch, vegetation removal should not occur between June 1 and September 30 of any given year unless otherwise directed by a biologist or other qualified person at the time of site works.

8.2.6. Wildlife Encounters

Any wildlife encountered during site clearing or subsequent construction activities should be allowed to exit the site on their own, via safe routes. Construction staff should not attempt to capture or handle most kinds of wildlife, unless an animal is in imminent peril or is injured and cannot wait for rescue by qualified personnel. Improper handling can result in injuries to both workers and wildlife and may in some cases contravene provincial or federal legislation. Removal and relocation of mammals, in particular, should only be done by qualified wildlife service providers working in accordance with applicable laws (i.e., *Fish and Wildlife Conservation Act*). Observation records should include the observer's name, date and time, species, location (descriptive and georeferenced), photographs, and action taken.

9.0 References

- County of Peterborough Official Plan (office consolidation 2022).
- Dobbyn, J., 1994. Atlas of the Mammals of Ontario.
- Lee, H., Bakowsky, W., Riley, J., Bowles, J., Puddister, M., Uhlig, P., McMurray, S., 1998. Ecological Land Classification for Southern Ontario: First Approximation and Its Application Ministry of Natural Resources, 2005 (MNR, 2005). Natural Heritage Reference Manual for Natural Heritage Policies of the Provincial Policy Statement.
- Ministry of Natural Resources and Forestry, 2015 (MNR, 2015). Significant Wildlife Habitat Criteria Schedules for Ecoregion 6E.
- Ontario Breeding Bird Atlas, 2021 (OBBA, 2021). Instructions for Point Counts.
- Ontario Ministry of Natural Resources and Forestry, 2022 (OMNRF, 2022). Ontario Wetland Evaluation System: Southern Manual, 4th Edition.
- Peterborough County Official Plan (June 2022 draft).
- R.S.C., 1985. c. F-14. Fisheries Act.
- R.S.O. 1990, c C.27. Conservation Authorities Act.
- R.S.O. 1990, c. P.13. Planning Act.
- S.C. 1994, c. 22. Migratory Birds Convention Act.
- S.O. 1997, c. 41. Fish and Wildlife Conservation Act.
- S.O. 2007, c. 6. Endangered Species Act.

Limitations:



This report was prepared using the most current site plan provided to Sumac's office. The conclusion and recommendations provided herein may no longer be applicable should changes be made to the site plan following submission of this report. The assessment provided herein is valid at the time of inspection.

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Legend

-  Subject Property
-  Adjacent Lands

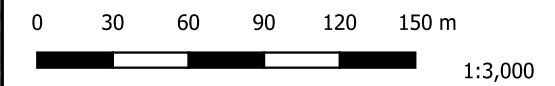
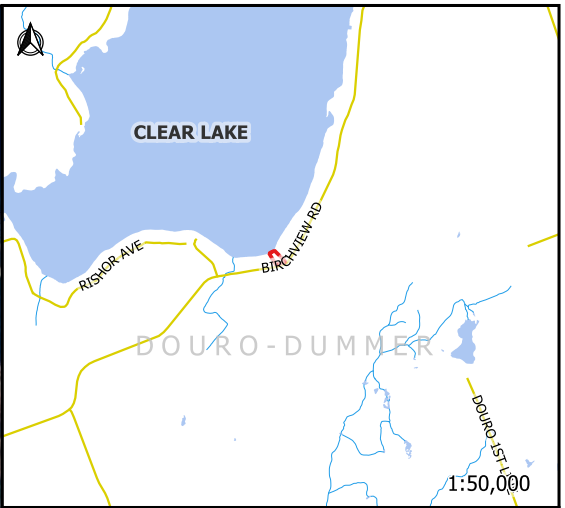


Figure 1: Subject Property



Designed by: N.F.
Date: 09/19/2025
Project: SEC 25-048



Legend

	Subject Property
	Adjacent Lands
	Dawn Breeding Bird Survey Station
	ELC Vegetation Communities
CUM1	Dry - Fresh Mineral Cultural Meadow Ecosite
CVR_3	Single Family Residential
FOD5	Dry - Fresh Sugar Maple Deciduous Forest Ecosite
FODM11	Naturalized Deciduous Hedge-row Ecosite
FOM2	Dry - Fresh White Pine - Hardwood Mixed Forest Ecosite
FOM2-2	Dry - Fresh White Pine - Sugar Maple Mixed Forest Type
OA	Open Water Mixed Mineral Meadow Marsh Ecosite

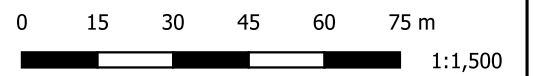
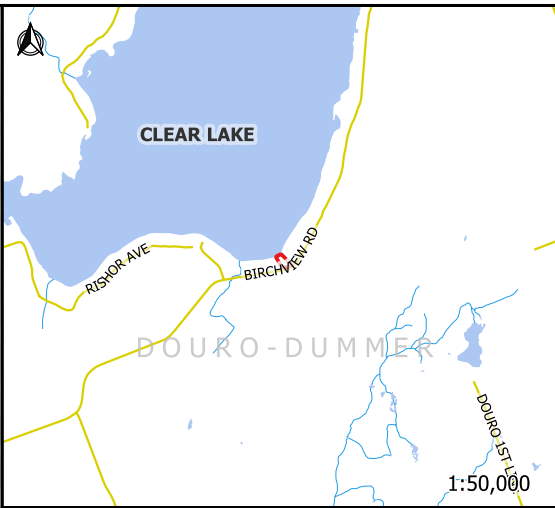


Figure 2: Existing Conditions

	Designed by: N.F. Date: 09/19/2025 Project: SEC 25-048
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Legend

	Subject Property
	Area of Work
	Existing Building (to be removed)
	Proposed Building
	Proposed Hardscaping
	Existing Septic (to be removed)
	Proposed Septic
	Existing Driveway
	Dimensions
	Silt Fence
	Tree Preservation Hoarding
	Ordinary High Water Mark
	Fish Habitat Buffer (30 m)



Figure 3: Proposed Development



Designed by: N.F.
Date: 09/19/2025
Project: SEC 25-048

\\SUMAC-QNAP\sumac_1_gnap\Projects\2025\25-048 694 Birchview Road EIS\5.0 GIS\Project Database

Scientific Name	Common Name	Vegetation Community ^A			S-Rank ^B	G-Rank ^C	Provincially Tracked	Species at Risk Status		Non-native Status	Coefficient of Wetness
		CVR_3	FOM2-2	OA				Provincial ^D	Federal ^E		
<i>Abies balsamea</i>	Balsam Fir	✓	✓		S5	G5	N				-3
<i>Acer platanoides</i>	Norway Maple	✓			SNA	GNR	N			SE5	5
<i>Acer saccharum</i>	Sugar Maple	✓			S5	G5	N				3
<i>Actaea pachypoda</i>	White Baneberry		✓		S5	G5	N				5
<i>Actaea rubra</i>	Red Baneberry		✓		S5	G5	N				3
<i>Aegopodium podagraria</i>	Goutweed	✓			SNA	GNR	N			SE5	0
<i>Amelanchier canadensis</i>	Canada Serviceberry		✓								
<i>Amphicarpaea bracteata</i>	American Hog-peanut		✓		S5	G5	N				0
<i>Anemonastrum canadense</i>	Canada Anemone			✓	S5	G5	N				-3
<i>Apocynum androsaemifolium</i>	Spreading Dogbane		✓		S5	G5	N				5
<i>Aquilegia canadensis</i>	Red Columbine		✓		S5	G5	N				3
<i>Aralia nudicaulis</i>	Wild Sarsaparilla		✓		S5	G5	N				3
<i>Arctium minus</i>	Common Burdock		✓		SNA	GNR	N			SE5	3
<i>Asclepias syriaca</i>	Common Milkweed		✓		S5	G5	N				5
<i>Betula papyrifera</i>	Paper Birch	✓	✓		S5	G5	N				3
<i>Carex blanda</i>	Woodland Sedge		✓		S5	G5	N				0
<i>Carex bromoides</i>	Brome-like Sedge	✓	✓		S5	G5	N				-3
<i>Carex pensylvanica</i>	Pennsylvania Sedge	✓			S5	G5	N				5
<i>Carex radiata</i>	Eastern Star Sedge		✓		S5	G5	N				0
<i>Carya cordiformis</i>	Bitternut Hickory		✓		S5	G5	N				0
<i>Chenopodium album</i>	Common Lamb's-quarters	✓			SNA	G5	N			SE5	3
<i>Cirsium vulgare</i>	Bull Thistle	✓			SNA	GNR	N			SE5	3
<i>Convallaria majalis</i>	European Lily-of-the-valley	✓	✓		SNA	G5	N			SE5	5
<i>Cornus Rugosa</i>	Round-leaved Dogwood		✓		S5	G5	N				5
<i>Cypripedium parviflorum var. makasin</i>	Northern Yellow Lady's-slipper		✓		S4S5	G5T4T5	N				0
<i>Diervilla lonicera</i>	Northern Bush-honeysuckle		✓		S5	G5	N				5
<i>Doellingeria umbellata</i>	Flat-top White Aster		✓		S5	G5	N				-3
<i>Dryopteris intermedia</i>	Evergreen Wood Fern	✓			S5	G5	N				0
<i>Erigeron philadelphicus</i>	Philadelphia Fleabane	✓			S5	G5	P				-3
<i>Eurybia macrophylla</i>	Large-leaved Aster		✓		S5	G5	N				5
<i>Fragaria virginiana</i>	Wild Strawberry		✓		S5	G5	N				3
<i>Fraxinus pennsylvanica</i>	Red Ash		✓		S4	G4	N				-3
<i>Geranium maculatum</i>	Spotted Geranium		✓		S5	G5	N				3
<i>Hieracium lachenalii</i>	Common Hawkweed		✓		SNA	GNR	N			SE2?	5
<i>Hypericum perforatum</i>	Common St. John's-wort		✓		SNA	GNR	N			SE5	5
<i>Impatiens capensis</i>	Spotted Jewelweed			✓	S5	G5	N				-3
<i>Lamium galeobdolon</i>	Yellow Archangel	✓			SNA	GNR	N			SE1	0
<i>Leucanthemum vulgare</i>	Oxeye Daisy		✓		SNA	GNR	N			SE5	5
<i>Lonicera dioica</i>	Limber Honeysuckle		✓		S5	G5	N				3
<i>Maianthemum canadense</i>	Wild Lily-of-the-valley		✓		S5	G5	N				3
<i>Matteuccia struthiopteris</i>	Ostrich Fern	✓			S5	G5	N				0

Scientific Name	Common Name	Vegetation Community ^A			S-Rank ^B	G-Rank ^C	Provincially Tracked	Species at Risk Status		Non-native Status	Coefficient of Wetness
		CVR_3	FOM2-2	OA				Provincial ^D	Federal ^E		
<i>Melilotus officinalis</i>	Yellow Sweet-clover	✓			SNA	GNR	N			SE5	3
<i>Myosotis sylvatica</i>	Woodland Forget-me-not		✓		SNA	G5	N			SE4	5
<i>Myriophyllum spicatum</i>	Eurasian Water-milfoil			✓	SNA	GNR	N			SE5	-5
<i>Oryzopsis asperifolia</i>	Rough-leaved Mountain Rice	✓			S5	G5	N				5
<i>Oxalis stricta</i>	Upright Yellow Wood-sorrel		✓		SNA	G5	N			SE5	3
<i>Picea glauca</i>	White Spruce	✓	✓		S5	G5	N				3
<i>Picea pungens</i>	Blue Spruce	✓			SNA	G5	N			SE1	3
<i>Pilosella caespitosa</i>	Meadow Hawkweed		✓		SNA	GNR	N			SE5	5
<i>Pinus strobus</i>	Eastern White Pine	✓	✓		S5	G5	N				3
<i>Pinus sylvestris</i>	Scots Pine	✓			SNA	GNR	N			SE5	3
<i>Plantago major</i>	Common Plantain	✓			SNA	G5	N			SE5	3
<i>Poa pratensis</i>	Kentucky Bluegrass		✓		S5	G5	P				3
<i>Polygonatum multiflorum</i>	Eurasian Solomon's Seal	✓			SNA	GNR	N			SE1	0
<i>Polygonatum pubescens</i>	Hairy Solomon's Seal		✓		S5	G5	N				5
<i>Populus grandidentata</i>	Large-toothed Aspen	✓	✓		S5	G5	N				5
<i>Prunus serotina</i>	Black Cherry		✓		S5	G5	N				3
<i>Prunus virginiana</i>	Chokecherry		✓		S5	G5	N				3
<i>Pteridium aquilinum</i>	Bracken Fern		✓		S5	G5	N				3
<i>Quercus rubra</i>	Northern Red Oak		✓		S5	G5	N				3
<i>Ranunculus repens</i>	Creeping Buttercup	✓			SNA	GNR	N			SE5	0
<i>Rhamnus cathartica</i>	European Buckthorn		✓		SNA	GNR	N			SE5	0
<i>Rhus typhina</i>	Staghorn Sumac		✓		S5	G5	N				3
<i>Ribes cynosbati</i>	Eastern Prickly Gooseberry		✓		S5	G5	N				3
<i>Rubus idaeus ssp. strigosus</i>	North American Red Raspberry	✓			S5	G5T5	N				3
<i>Rubus occidentalis</i>	Black Raspberry	✓			S5	G5	N				5
<i>Rubus odoratus</i>	Purple-flowering Raspberry		✓		S5	G5	N				5
<i>Sambucus racemosa</i>	Red Elderberry		✓		S5	G5	N				3
<i>Securigera varia</i>	Purple Crown-vetch	✓			SNA	GNR	N			SE5	5
<i>Solidago canadensis</i>	Canada Goldenrod		✓		S5	G5	N				3
<i>Symphoricarpos albus</i>	Thin-leaved Snowberry		✓		S5	G5	N				3
<i>Symphyotrichum lateriflorum</i>	Calico Aster		✓		S5	G5	P				0
<i>Symphyotrichum novae-angliae</i>	New England Aster	✓			S5	G5	N				-3
<i>Syringa vulgaris</i>	Common Lilac	✓			SNA	GNR	N			SE5	5
<i>Taraxacum officinale</i>	Common Dandelion		✓		SNA	G5	N			SE5	3
<i>Thalictrum dioicum</i>	Early Meadow-rue		✓		S5	G5	N				3
<i>Thuja occidentalis</i>	Eastern White Cedar	✓	✓		S5	G5	N				-3
<i>Tilia americana</i>	Basswood		✓		S5	G5	N				3
<i>Toxicodendron radicans var. rydbergii</i>	Western Poison Ivy		✓		S5	G5	N				0
<i>Trifolium pratense</i>	Red Clover	✓	✓		SNA	GNR	N			SE5	3
<i>Trifolium repens</i>	White Clover	✓			SNA	GNR	N			SE5	3
<i>Trillium grandiflorum</i>	White Trillium		✓		S5	G5	N				3

Scientific Name	Common Name	Vegetation Community ^A			S-Rank ^B	G-Rank ^C	Provincially Tracked	Species at Risk Status		Non-native Status	Coefficient of Wetness
		CVR_3	FOM2-2	OA				Provincial ^D	Federal ^E		
<i>Tussilago farfara</i>	Coltsfoot	✓			SNA	GNR	N			SE5	3
<i>Uvularia grandiflora</i>	Large-Flowered Bellwort		✓		S5	G5	N				5
<i>Vallisneria americana</i>	American Eelgrass			✓	S5	G5	N				-5
<i>Verbascum thapsus</i>	Common Mullein	✓			SNA	GNR	N			SE5	5
<i>Veronica serpyllifolia</i>	Thyme-leaved Speedwell	✓			SU	G5	N				0
<i>Viburnum acerifolium</i>	Maple-leaved Viburnum		✓		S5	G5	N				5
<i>Vicia cracca</i>	Tufted Vetch	✓	✓		SNA	GNR	N			SE5	5
<i>Vinca minor</i>	Lesser Periwinkle	✓	✓		SNA	GNR	N			SE5	5
<i>Viola sororia</i>	Woolly Blue Violet		✓		S5	G5	N				0

^ARefer to Figure 2 for Ecological Land Classification descriptors.

^BProvincial Ranking Status. Definitions of each S-Rank can be found at the following website: https://caroliniancanada.ca/legacy/SpeciesHabitats_SRrank.htm.

^CGlobal Ranking Status. Definitions of each G-Rank can be found at the following website: https://caroliniancanada.ca/legacy/SpeciesHabitats_GRrank.htm.

^DSpecies at Risk status as per the O. Reg. 230/08.

^ESpecies at Risk status as per the *Species at Risk Act (S.C. 2002, c.29)*.

Scientific Name	Common Name	Point Count Station		Incidental	Location	Breeding ^A	Non-native?	S-Rank ^B	G-Rank ^C	Species at Risk Status	
		1								Provincial ^D	Federal ^E
		06-06-2025	07-05-2025								
<i>Agelaius phoeniceus</i>	Red-winged Blackbird	S ^F (1) ^G			Adjacent Lands	Possible		S5	G5		
<i>Buteo platypterus</i>	Broad-winged Hawk			✓	Adjacent Lands	Possible		S5B	G5		
<i>Colaptes auratus</i>	Northern Flicker			✓	Subject Property	Possible		S5	G5		
<i>Contopus virens</i>	Eastern Wood-pewee		S(2)		Adjacent Lands	Possible		S4B	G5	SC	SC
<i>Corvus brachyrhynchos</i>	American Crow		S(2)		Adjacent Lands	Possible		S5	G5		
<i>Dryobates pubescens</i>	Downy Woodpecker		S(1)		Adjacent Lands	Possible		S5	G5		
<i>Melanerpes carolinus</i>	Red-bellied Woodpecker		H(1)		Subject Property	Possible		S5	G5		
<i>Melospiza melodia</i>	Song Sparrow	S(1)			Subject Property	Possible		S5	G5		
<i>Mniotilta varia</i>	Black-and-white Warbler			✓	Adjacent Lands	Possible		S5B	G5		
<i>Pheucticus ludovicianus</i>	Rose-breasted grosbeak			✓	Adjacent Lands	Possible		S5B	G5		
<i>Poecile atricapillus</i>	Black-capped Chickadee		S(1)		Subject Property	Possible		S5	G5		
<i>Quiscalus quiscula</i>	Common Grackle	S(1)			Subject Property	Possible		S5	G5		
<i>Setophaga coronata</i>	Yellow-rumped Warbler			✓	Subject Property	Possible		S5B,S4N	G5		
<i>Setophaga pinus</i>	Pine Warbler	S(1)	T(1)		Subject Property	Probable		S5B,S3N	G5		
<i>Sphyrapicus varius</i>	Yellow-bellied Sapsucker			✓	Adjacent Lands	Possible		S5B,S3N	G5		
<i>Turdus migratorius</i>	American Robin	S(1)	T(1),S(1)		Subject Property	Probable		S5	G5		
<i>Vireo olivaceus</i>	Red-eyed Vireo	S(1)	T(1)		Subject Property	Probable		S5B	G5		

^ABreeding Evidence as per Ontario Breeding Bird Atlas: Guide for Participants (March 2001)

^BProvincial Ranking Status. Definitions of each S-Rank can be found at the following website: https://caroliniancanada.ca/legacy/SpeciesHabitats_SRrank.htm.

^CGlobal Ranking Status. Definitions of each G-Rank can be found at the following website: https://caroliniancanada.ca/legacy/SpeciesHabitats_GRrank.htm.

^DSpecies at Risk status as per the O. Reg. 230/08.

^ESpecies at Risk status as per the *Species at Risk Act (S.C. 2002, c.29)*.

^FBreeding Code as per Ontario Breeding Bird Atlas: Guide for Participants (March 2001)

^GNumber of individuals observed

Species Grouping	Common Name	Scientific Name	Provincial Status ^A	Federal Status ^B	SAR Habitat Assessment
Birds	Bank Swallow	<i>Riparia riparia</i>	Threatened	Threatened	Absent. No suitable sandy vertical faces associated with the shoreline of Clear Lake identified on the subject property.
Birds	Barn Swallow	<i>Hirundo rustica</i>	Special Concern	Threatened	Absent. No barn swallows nests identified on the existing structures on the subject property.
Birds	Black Tern	<i>Chlidonias niger</i>	Special Concern	Not Listed	Absent. No suitable wetland habitat for black tern identified on the subject property.
Birds	Bobolink	<i>Dolichonyx oryzivorus</i>	Threatened	Threatened	Absent. No suitable open habitat for bobolink identified on the subject property.
Birds	Canada Warbler	<i>Cardellina canadensis</i>	Special Concern	Threatened	Absent. Canada warbler was not observed during the dawn breeding bird surveys nor through incidental occurrence.
Birds	Cerulean Warbler	<i>Setophaga cerulea</i>	Threatened	Endangered	Absent. Cerulean warbler was not observed during the dawn breeding bird surveys nor through incidental occurrence.
Birds	Chimney Swift	<i>Chaetura pelagica</i>	Threatened	Threatened	Absent. No suitable nesting sites for chimney swift observed on the subject property.
Birds	Common Nighthawk	<i>Chordeiles minor</i>	Special Concern	Special Concern	Absent. No recently disturbed open areas for common nighthawk identified on the subject property.
Birds	Eastern Meadowlark	<i>Sturnella magna</i>	Threatened	Threatened	Absent. No suitable open habitat for Eastern meadowlark identified on the subject property.
Birds	Eastern Whip-poor-will	<i>Antrostomus vociferus</i>	Special Concern	Threatened	Absent. No suitable combination of open and forested areas for Eastern whip-poor-will identified on the subject property.
Birds	Eastern Wood-Pewee	<i>Contopus virens</i>	Special Concern	Special Concern	Absent. Eastern wood-pewee was not observed on the subject property with probable or confirmed breeding evidence.
Birds	Evening Grosbeak	<i>Coccothraustes vespertinus</i>	Special Concern	Special Concern	Absent. No suitable forested communities dominated by fir species for evening grosbeak identified on the subject property.
Birds	Golden-winged Warbler	<i>Vermivora chrysoptera</i>	Special Concern	Threatened	Absent. No suitable open or edge habitat for golden-winged warbler identified on the subject property.
Birds	Grasshopper Sparrow	<i>Ammodramus savannarum pratensis</i>	Special Concern	Special Concern	Absent. No suitable grassland habitat for grasshopper sparrow identified on the subject property.
Birds	Least Bittern	<i>Ixobrychus exilis</i>	Threatened	Threatened	Absent. No suitable wetland habitat for least bittern identified on the subject property.
Birds	Loggerhead Shrike	<i>Lanius ludovicianus</i>	Endangered	Endangered	Absent. No suitable grassland habitat for loggerhead shrike identified on the subject property.
Birds	Olive-sided Flycatcher	<i>Contopus cooperi</i>	Special Concern	Special Concern	Absent. No suitable edge or open habitat for olive-sided flycatcher identified on the subject property.
Birds	Peregrine Falcon	<i>Falco peregrinus</i>	Special Concern	Not Listed	Absent. No suitable cliffs or ledges for peregrine falcon identified on or near the subject property.
Birds	Red-headed Woodpecker	<i>Melanerpes erythrocephalus</i>	Endangered	Endangered	Absent. No suitable treed habitat with an abundance of dead/dying trees for red-headed woodpecker identified on the subject property. Moreover, no red-headed woodpecker cavities were encountered during Sumac's investigations.
Birds	Short-eared Owl	<i>Asio flammeus</i>	Threatened	Special Concern	Absent. No open grassland habitat for short-eared owl identified on the subject property.
Birds	Wood Thrush	<i>Hylocichla mustelina</i>	Special Concern	Threatened	Absent. Wood thrush was not observed during the dawn breeding bird surveys nor through incidental occurrence.

Species Grouping	Common Name	Scientific Name	Provincial Status ^A	Federal Status ^B	SAR Habitat Assessment
Fishes	Northern Sunfish (Great Lakes - Upper St. Lawrence populations)	<i>Lepomis peltastes</i>	Special Concern	Special Concern	Absent. No suitable aquatic habitat for Northern sunfish identified on the subject property.
Insects	Monarch	<i>Danaus plexippus</i>	Special Concern	Endangered	Candidate. Monarch breeding may occur in the FOM2-2 community where common milkweed is found. No area with an abundance of favorable nectar sources for monarch identified on the subject property.
Mammals	Eastern Red Bat	<i>Lasiurus borealis</i>	Endangered	Not Listed	Confirmed. Acoustic monitoring detected Eastern red bat on the subject property. Roosting habitat likely includes the identified significant woodland feature. Foraging habitat likely includes the shoreline and forest edge.
Mammals	Eastern Small-footed Myotis	<i>Myotis leibii</i>	Endangered	Not Listed	Absent. Eastern small-footed myotis was not detected through acoustic monitoring and as such, is not anticipated to use the subject property for roosting or foraging.
Mammals	Hoary Bat	<i>Lasiurus cinereus</i>	Endangered	Not Listed	Confirmed. Acoustic monitoring detected hoary bat on the subject property. Roosting habitat likely includes the identified significant woodland feature. Foraging habitat likely includes the shoreline and forest edge.
Mammals	Little Brown Myotis	<i>Myotis lucifugus</i>	Endangered	Endangered	Confirmed. Acoustic monitoring detected little brown myotis on the subject property. Roosting habitat likely includes the identified significant woodland feature, as the existing dwelling did not exhibit notable entry points for bats. Foraging habitat likely includes the shoreline and forest edge.
Mammals	Northern Myotis	<i>Myotis septentrionalis</i>	Endangered	Endangered	Absent. Northern myotis was not detected through acoustic monitoring and as such, is not anticipated to use the subject property for roosting or foraging.
Mammals	Silver-haired Bat	<i>Lasionycteris noctivagans</i>	Endangered	Not Listed	Confirmed. Acoustic monitoring detected silver-haired bat on the subject property. Roosting habitat likely includes the identified significant woodland feature. Foraging habitat likely includes the shoreline and forest edge.
Mammals	Tri-colored Bat	<i>Perimyotis subflavus</i>	Endangered	Endangered	Absent. Tri-colored bat was not detected through acoustic monitoring and as such, is not anticipated to use the subject property for roosting or foraging.
Reptiles	Blanding's Turtle	<i>Emydoidea blandingii</i>	Threatened	Endangered	Absent. The Clear Lake shoreline abutting the subject property does not exhibit favorable habitat features to likely function as habitat for Blanding's turtle.
Reptiles	Eastern Hog-nosed Snake	<i>Heterodon platirhinos</i>	Threatened	Threatened	Absent. Eastern hog-nosed snake are not anticipated to occur on the subject property due to lack of favorable foraging habitat (e.g., amphibian breeding habitat for American toad) anticipated on or near the subeject property.
Reptiles	Eastern Musk Turtle	<i>Sternotherus odoratus</i>	Special Concern	Special Concern	Absent. No suitable aquatic habitat for Eastern musk turtle identified on the subject property.
Reptiles	Northern Map Turtle	<i>Graptemys geographica</i>	Special Concern	Special Concern	Candidate. Northern map turtle may utilize the rocky shoreline of Clear Lake for basking, should this species be present. No high quality turtle nesting habitat identified on the subject property.
Reptiles	Snapping Turtle	<i>Chelydra serpentina</i>	Special Concern	Special Concern	Absent. No suitable shallow aquatic habitat for sanpping turtle identified on the subject property.
Vascular Plants	Black Ash	<i>Fraxinus nigra</i>	Endangered	Not Listed	Absent. No black ash encountered on the subject property.

Species Grouping	Common Name	Scientific Name	Provincial Status ^A	Federal Status ^B	SAR Habitat Assessment
Vascular Plants	Butternut	<i>Juglans cinerea</i>	Endangered	Endangered	Absent. No butternut encountered on the subject property.

^AClassification of species as they appear on O. Reg. 230/08 Species at Risk Ontario list (consolidation period: January 27, 2025).

^BClassification of species as they appear on Schedule 1 of the Species at Risk Act (consolidation period: February 17, 2025).

List of Appendices

Appendix A: ORCA Regulated Areas Mapping

Appendix B: Natural Heritage Areas Mapping

Appendix A: ORCA Regulated Areas Mapping

Assessment Parcel



Notes:

Enter map notes



Absence of a feature in the map does not mean they do not exist in this area.

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Legend

-  Assessment Parcel
- ANSI**
-  Earth Science Provincially Significant/sciences de la terre d'importance provinciale
-  Earth Science Regionally Significant/sciences de la terre d'importance régionale
-  Life Science Provincially Significant/sciences de la vie d'importance provinciale
-  Life Science Regionally Significant/sciences de la vie d'importance régionale



Notes:

Enter map notes



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Appendix B: Natural Heritage Areas Mapping

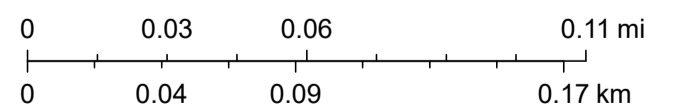
ORCA Regulated Areas



9/11/2025, 10:47:02 AM

 Regulated Area

1:3,355



Sources: NRCan, Esri Canada, and Canadian Community Maps contributors., Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community



Replacement of Original ZRLA Application

Township of Douro-Dummer Zoning By-law Amendment Application

Members of Council

Heather Watson
Mayor

Harold Nelson
Deputy Mayor

Tom Watt
Councillor at Large

Ray Johnston
Councillor, Douro Ward

Adam Vervoort
Councillor, Dummer Ward

Planning/Building Department

Municipal Office Contact:
705-652-8392

Planner Ext. 226

Clerk Ext. 210

Chief Building Official Ext. 216

Building and Planning
Administrator Ext. 211

A Zoning By-law is a legal document that regulates the use of land within the Municipality. The By-law states what each parcel of land can be used for, where and what types of buildings or structures may be located on the land and the requirements of lot sizes, parking lots, building heights and setbacks, etc. The Zoning By-law must conform with the Official Plan of the Municipality.

An application for a Zoning By-law Amendment is most often initiated when the zoning on your property does not permit a proposed development.

The following is an overview of the Zoning By-law Amendment Application/Review Process:

- 1) At the outset, you are required to consult with Township staff regarding any development proposal to determine if a zoning by-law amendment process is right for your proposal. A pre-consultation meeting will be held.

A zoning by-law amendment takes a minimum of 3 months to reach completion upon receipt of a "complete application". Additional delays may be caused by requests for further information or concerns raised at the Public Meeting.

- 2) Before submitting an application for a zoning by-law amendment, it is recommended that the applicant contact all neighbours within 120 metres of the proposed land, relevant ministries and agencies to inform them of their plans. This courtesy may prevent a possible delay in the processing of your application should someone not understand the nature of your request.
- 3) Upon receipt of a "complete" application for an amendment to the zoning by-law, your application will be taken to Council to have the application deemed complete as per the Planning Act and to obtain approval for staff to process your application. The Planning Act prescribes that a Notice of the Public Meeting shall be given at least 20 days before the day of the Meeting by mail to all property owners within 120 metres of the subject property and to the appropriate agencies.

You will also be required to post a Notice on the subject property.

- 4) The Public Meeting will be scheduled under the regulations of the Planning Act and will be held in the Council Chambers of the Municipal Building. It is recommended that the applicant and any other person having an interest attend the meeting or have a representative attend on your behalf.
- 5) All written submissions will be presented at the public meeting. The public in attendance also has the opportunity to express their interest in the application. If the application is approved at the meeting a By-law will be passed by Council.
- 6) Following Council's decision a Notice will be sent to the applicant and/or his agent and to each person who filed with the Clerk a written request for notice of the decision.

There is a **20 day appeal period from the date of the notice being mailed.** Subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal. No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the council or, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

If no appeal is received within the 20 day appeal period, the By-law becomes effective on the date of passage.

***** The information contained in this document is general in nature - for more specific information please contact the Municipal Office.**



Zoning By-law Amendment Application Checklist

The following must be provided in order for the application to be deemed "complete":

- Application Form (all sections must be complete)
- If your property is within a vulnerable area as defined by the Source Water Protection Plan, a clearance notice from the Risk Management Official is required to be submitted with your application. Speak with Township staff to determine if this is required.
- Site Plan drawing: **An up-to-date location survey prepared by an Ontario Land Surveyor is required for all applications. Please ensure that all existing and proposed structures (including decks, accessory buildings, etc.) are shown on the survey and that all setbacks are shown and measured accurately.**

Please request that the surveyor email a draft copy of the site plan to the Municipality ahead of time to ensure that all of the required information is included on it, as follows.

The Site Plan/Location Survey must include the following:

- The boundaries and dimensions of the subject land
- The location, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines
- The approximate location of all natural and artificial features (for example, buildings, railways, roads, watercourses, drainage ditches, banks of rivers or streams, wetlands, wooded areas, wells, septic tanks, hydro lines, telephone lines or any other services) on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application.
- The current uses on land that is adjacent to the subject land
- The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public travelled road, a private road or a right-of-way
- If access to the subject land is by water only, the location of the parking and docking facilities to be used
- The location and nature of any easement affecting the subject land
- If Waterfront Property, elevation/Highest Recorded Water Level details must also be included on the site plan - Please contact the Otonabee Region Conservation Authority prior to submitting your application (705-745-5791 Ext. 213)
- Submit photographs of property showing pertinent detail
- Township Fee (\$1685.00) plus the Otonabee Region Conservation Authority (ORCA) Fee – to be paid by cash, cheque or Interac
- Floor Plans and Building Elevations (discuss with staff to determine applicability)

Note: Full size drawings may be submitted however in all cases copies of the drawings must be provided on Ledger-sized paper (11" x 17") or smaller for copying purposes and for inclusion as a schedule to the By-law Amendment if approved. A digitized PDF version is also required.

The Township may require additional information to process your application. Pre-consultation with Township staff prior to submitting your application is recommended.

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Office Use Only	
File No.	_____
Date App. Submitted	_____
Application Fee	\$ _____
Date Fee Received	_____
Date Application Deemed Complete	_____
Roll No.	_____

**Township of Douro-Dummer Application for
Amendment to Zoning By-law #10-1996, as amended**
(Section 34 of the Planning Act, R.S.O. 1990, c. P. 13, as amended)

1.0 Applicant Information

Registered Owner(s): Ledie Scott Moore
(Please Indicate Name(s) Exactly as Shown on the Transfer/Deed of Land)

Address: _____

Phone: (home) _____
 Phone: (cell) _____

Email: _____
 Phone: (work) _____
 Fax: N/A

2.0 Agent Information

Authorized Agent (if any): Kevin U. Nugent MCIP, RPP

Address: 560 Romane Street
Peterborough, Ontario
K9J 2E3

Phone: (home) N/A
 Phone: (cell) _____

Email: _____
 Phone: (work) 705 749 6710
 Fax: N/A

3.0 Other Information – Charges Against the Land

If known, the name(s) and address(es) of holder(s) of any mortgages, charges or other encumbrance(s) in respect of the subject land: N/A

4.0 Legal Description/Location/Property Characteristics/Access to Subject Land:

County <i>Peterborough</i>		Township <i>Douro-Dummer</i>	Ward (Former Township) <i>Douro</i>
Concession Number(s) <i>2</i>	Lot Number(s) <i>25</i>	Legal Description:	
Registered Plan No:	Lot(s)/ Block No.	Civic/911 Address: <i>694 Birchview Road</i>	
Reference Plan No:	Part Number(s):	Are there any easements or restrictive covenants affecting the property?	
Date subject land was purchased by current			

4.1 Dimensions of the Subject Land

Frontage: <input checked="" type="checkbox"/> Water: <i>42.9 m</i> <input checked="" type="checkbox"/> Road: <i>58.09 m</i>	Depth: <input checked="" type="checkbox"/> Min: <i>87.1 m</i> <input checked="" type="checkbox"/> Max: <i>105.5 m</i>	Area: <i>0.4 ha (Approximate)</i>
---	---	--------------------------------------

4.2 Access to the Subject Land

Access to Subject Property –		<input checked="" type="checkbox"/> Existing	or	<input type="checkbox"/> Proposed
<input checked="" type="checkbox"/> Municipal Road – maintained year round	<input type="checkbox"/> Private Road			
<input type="checkbox"/> County Road	<input type="checkbox"/> Right-of-way			
<input type="checkbox"/> Provincial Highway	<input type="checkbox"/> Water			
<input type="checkbox"/> Other public road (Specify):				
Name of Road/Street:				
If access to the land is by water only:				
Where are parking and docking facilities:	<i>N/A</i>			
Approximate distance from subject land:				
Approximate distance from nearest public road:				

5.0 Official Plan Designation and Zoning

Official Plan Designation: Lakeshore Residential.

Please provide an explanation of how the application for rezoning will conform to the Official Plan

Please refer to the Planning Justification Report for details

Zoning By-law: _____

Is the subject land in an area where zoning conditions apply? Yes No. If yes, please explain how the application conforms to the Official Plan policies relating to zoning with conditions: N/A

5.1 Density and Height Requirements

Are there minimum and maximum density requirements on the property: Yes No
If Yes, what are they and are they being met? Yes, 1 main dwelling and 1 ADU per lot

Are there minimum and maximum height requirements on the property: Yes No
If Yes, what are they and are they being met? Yes, as per the ZBL

6.0 Purpose of the Application

Please describe the nature and extent of the rezoning request: To permit a replacement dwelling
Please refer to the attached ZBL Summary

Please explain the reason for the requested rezoning: To permit a replacement dwelling
Please refer to the Planning Justification Report for details

7.0 Settlement/Employment Areas

Does the application propose to implement or alter a boundary of an area of settlement: Yes No
If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter? N/A

Does the application propose to remove land from an area of employment (Hamlet or Special Industrial properties): Yes No
If Yes, please explain the details of the Official Plan or Official Plan Amendment that deal with this matter? N/A

8.0 Property Characteristics, Access and Servicing Information

Water Supply:	Please identify the type of water supply serving the subject property:
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	<input checked="" type="checkbox"/> Privately-owned/operated individual well <input type="checkbox"/> Privately-owned/operated communal well <input type="checkbox"/> Publicly-owned/operated piped water system <input type="checkbox"/> Lake or other water body <input type="checkbox"/> Other (specify): _____

Storm Drainage:	Please identify the type of storm drainage serving the subject property:
<input checked="" type="checkbox"/> Existing <input type="checkbox"/> Proposed	<input type="checkbox"/> Sewers <input type="checkbox"/> Ditches <input type="checkbox"/> Swales <input checked="" type="checkbox"/> Other (specify): <u>ground infiltration</u>

Sewage Disposal:	Please identify the type of sewage disposal serving the subject property:
<input type="checkbox"/> Existing <input checked="" type="checkbox"/> Proposed <u>(Replacement)</u>	<input checked="" type="checkbox"/> Privately-owned/operated individual septic system <u>(Proposed)</u> <input type="checkbox"/> Privately-owned/operated communal septic system <input type="checkbox"/> Publicly-owned/operated sanitary sewage system <input type="checkbox"/> Privy <input type="checkbox"/> Other (specify): _____
	<p>If the sewage disposal system is proposed, have you obtained a permit from the Township of Douro-Dummer? <input type="checkbox"/> Yes or <input checked="" type="checkbox"/> No</p> <p>Permit Number: <u>N/A</u></p> <p>Does the application permit development on Privately-owned/operated individual or communal septic systems and more than 4500 Litres of effluent would be produced per day as a result of the development being completed? (this is usually anything above or beyond a regular single family dwelling) <input type="checkbox"/> Yes or <input checked="" type="checkbox"/> No</p> <p>If yes, the following are required:</p> <p>a) A servicing options report Date received: <u>N/A</u> b) A hydrogeological report Date received: _____</p>

Source Water Protection Area:	<p>Is your property within a vulnerable area as defined by the Source Water Protection Plan? <input type="checkbox"/> Yes or <input checked="" type="checkbox"/> No</p> <p>If yes, have you attached the required clearance notice from the Risk Management Official with your application? <input type="checkbox"/> Yes or <input type="checkbox"/> No <u>N/A</u></p>
--------------------------------------	--

9.0 Existing and Proposed Uses and Structures:

What is the subject land currently used for? Residential - Waterfront

How long have the existing uses of the subject land continued? 75 plus years

What are the proposed uses of the subject land? Residential - Waterfront

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

Existing Structures (in metric)

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height	Date Constructed
Dwelling	93.5m ²	120m ²	1 with 2 storey addition	10m	19m	5.2 storeys	1950 +/-
Bathroom	62.8m ²	62.8m ²	1	7.9m	7.9m	1 storey	2022
ARU Dwelling	90.16m ²	90.16m ²	1	9.8m	9.2m	1 storey	2023-24

Please place an asterisk (*) beside any existing structure that will be demolished.

Proposed Structures (in metric)

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Length	Width	Height
Dwelling	244.8m ²	310m ²	2	See plan	7.9m	9.57m
Bathroom No Change	62.8m ²	62.8m ²	1	7.9m	7.9m	1 storey
ARU Dwelling No Change	90.16m ²	90.16m ²	1	9.8m	9.2m	1 storey

Will the proposal add any of the following?

	Yes	No	If yes, please provide:	Existing	Proposed
Total Living Area	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	93.5m ²	120m ²
Bedrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number	2	3
Bathrooms	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number	1	2
New Plumbing Fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Number of Fixtures	4	8

*includes proposed laundry room

10.0 Existing and Proposed Structures: Setbacks

In the tables below, please provide information regarding all existing and proposed structures (this information must also be included on the site plan provided with the application). **Please note** that an up-to-date location survey will be required.

Existing Structures (in metric) ^{Water}

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
* Dwelling	15 m	See Plan	W 7.14m	E 18.27m	15 m	N/A
Boathouse	6.9 m	See Plan	W 31m ⁺	E 3.09m	6.9 m	N/A
ARU Dwelling	See Plan	See Plan	W 32m ⁺	E	See Plan	N/A

Please place an asterisk (*) beside any existing structure that will be demolished.

Proposed Structures (in metric)

Type of Structure	Front Lot Line	Rear Lot Line	Side Lot Line	Side Lot Line	Water yard	Other (specify)
Dwelling	16.5m	N/A	W 6.10m	E 19.8m	18.3m	** 16.5m
Boathouse	No change					→
ARU Dwelling	No change					→

Note: Information regarding the definitions of the requested dimensions and setbacks can be obtained from the Township's Zoning By-law 2010-55.

* Building ** Deck

Lot Coverage (in metric and percentage)

	Existing	Proposed
Principle Use (i.e. Dwelling)	93.5 m ² , 1.9 %	244.8 m ² , 5.66 %
Accessory Structures	152. m ² , 3.1 %	152 m ² , 3.1 %
Total	245. m ² , 5 %	396.8 m ² , 9.16 %

11.0 Other Information:

Please provide any additional information that you feel may be relevant in the review of this application on additional pages as necessary along with any required studies.

12.0 Other Planning Applications

Please indicate if the subject land is or has been the subject of an application under the Planning Act.

Type of Planning Application	Yes	No	File Number	Status
Approval of Plan of Subdivision (under Section 51)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
Consent (Severance) (Section 53)	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Lot Addition	Approved PCUC
Minor Variance (Section 45)	<input type="checkbox"/>	<input type="checkbox"/>		
Other:	<input type="checkbox"/>	<input type="checkbox"/>		

13.0 Provincial Plans

Is the application consistent with the Provincial Planning Statement, 2024? Yes or No

14.0 Public Consultation Strategy:

Please provide a description of the Public Consultation Strategy that will be used by the applicant during the zoning by-law amendment process to ensure that the public is consulted, please attached additional pages if needed:

Pursuant to the provisions (Statutory) of the Planning Act.

15.0 Authorization by Owner to Appoint an Agent:

I/We Scott Moore, being the owner(s) of the subject land, hereby, authorize Kevin M. Duguay to be the applicant in the submission of this application.

Signature _____

Date _____

Signature _____

Date _____

16.0 Freedom of Information:

For the purposes of the Freedom of Information and Protection of Privacy Act, I/We authorize and consent to the use by or the disclosure to any person or public body or publishing on the Municipal website any information that is collected under the authority of the Planning Act for the purposes of processing this application.

[Redacted Signature]

Owner/Applicant/Agent Signature

January 20, 2026

Date

Owner/Applicant/Agent Signature

Date

17.0 Access to Property:

I/We Kevin M. Duguay, hereby, authorize the members of the Council of the Township of Douro-Dummer or their agent(s)/representative(s) to attend at the subject property located at [insert address] _____.

[Redacted Signature]

Owner/Applicant/Agent Signature

January 20, 2026

Date

18.0 Declaration of Applicant:

I/We Kevin M Doagay of the Peterborough in the
(name of owner(s)/agent(s) (city/town/township in which you reside)
 * Peterborough in Ontario solemnly
(County/Upper-tier municipality, if applicable) (Province/Territory)
 declare that:

All the statements contained in this application and provided by me are true and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath

Declared before me at the Township of Douro-Dummer in the County of Peterborough this ___ day of _____, 20__.

To be signed in the presence of a Commissioner for taking affidavits



Owner/Applicant Agent Signature

Signature of Commissioner, etc.

Owner/Applicant Agent Signature

This application must be accompanied by the Township of Douro-Dummer Zoning By-law Amendment Fee (\$1685.00) plus the ORCA Fee in cash, by Interac or cheque made payable to the Treasurer of the Township of Douro-Dummer).

Personal information contained on this form, collected pursuant to the Planning Act, will be used for the purpose of responding to the initial application. Questions should be directed to the Freedom of Information and Privacy Coordinator at the institution conducting the procedures under the Act.

* Previously provided to the Township

File Name/No. _____
Roll No. _____

Affidavit

In the Matter of a **Zoning By-law** application to the Township of Douro-Dummer,

I/We, Kerrin M. Aughey, make oath and say that:
[Print Owner/Applicant/Agent name]

1. I am: [Place a clear mark within the square opposite one of the following paragraphs that describes capacity of deponents.]

- the applicant or one of the applicants in the Application(s).
- the authorized agent acting in this matter for the applicant or applicants.
- an officer of the corporate applicant named in the Application(s).

2. On or before the [Insert date] To be determined, I will ensure that the notice or notices of the Application(s) provided to me (or the Applicant, as the case may be) by the Township of Douro-Dummer have been posted so as to be clearly visible and legible from a public highway, or other place to which the public has access, at every separately assessed property in the area that constitutes the subject land of the Application(s) or, where posting on the property was impractical, at a nearby location so as to adequately indicate to the public what property is the subject of the Application(s).

Should the notice(s) be removed, by any means from the posting area(s), I will immediately contact the Township of Douro-Dummer Planning Department for replacement copies of the notice(s).

Declared before me at the Township of Douro-Dummer in the County of Peterborough

To be signed in the presence of a Commissioner for taking affidavits

* this ____ day of _____, 20____.

[Redacted Signature]

Owner/Applicant Agent Signature

Signature of Commissioner, etc.

Owner/Applicant Agent Signature

Note: Failure to post the notices, as required by this Affidavit, may result in additional costs and/or delays with your application.

* Previously provided to the Township



Township of Douro-Dummer

Planning Application Costs Acknowledgement Form

I/We, Kevin M. Duguay
[Print Owner/Applicant/Agent name]

do hereby acknowledge and agree that the payment of the fee that is submitted with this application for a Zoning By-law Amendment, as being an application fee only, will be used to defray the costs of processing this application, and;

do also hereby acknowledge and agree to assume all costs** incurred by the Township of Douro-Dummer associated with the processing of this application that exceed the amount of the application fee, including, but not restricted to, Professional Planning Fees, Engineering Fees and Legal Fees, in addition to the municipal costs associated with this application, and;

do also hereby acknowledge and agree to assume all costs** incurred by the Township of Douro-Dummer associated with any Appeal to the Ontario Land Tribunal with respect to this application.

Dated this 20th day of January, 2020.

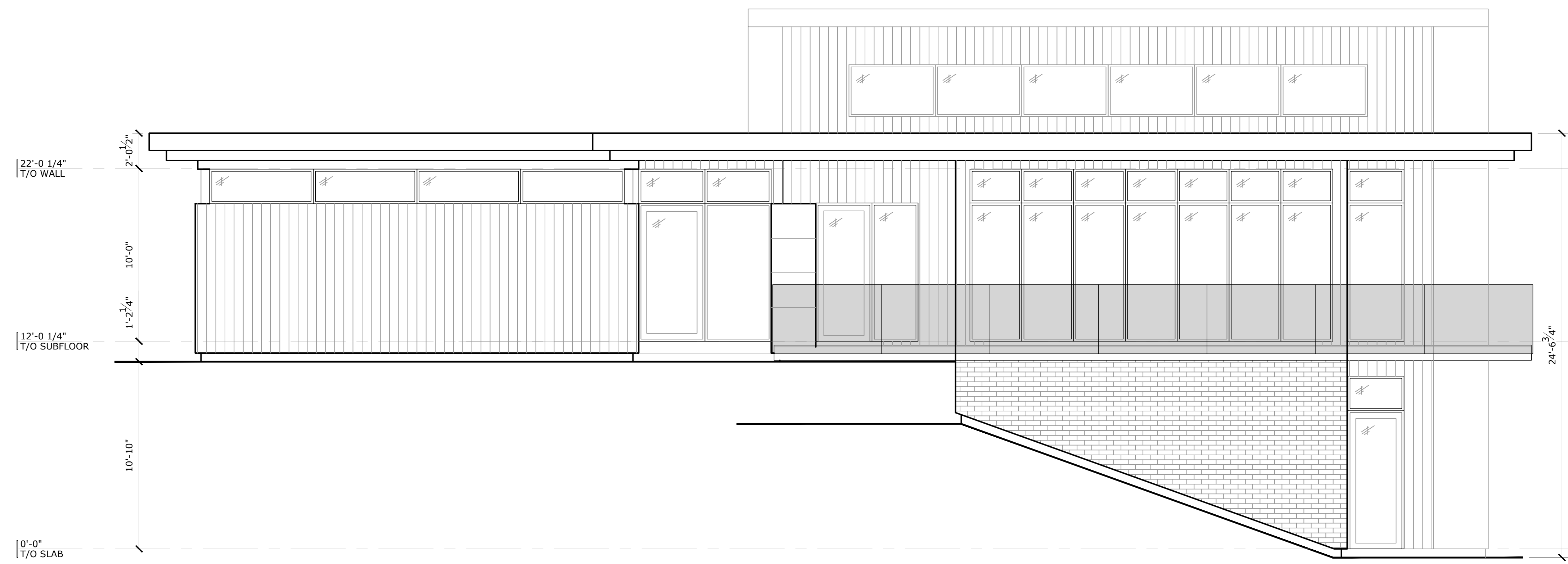
[Redacted Signature]

Owner/Applicant/Agent Signature

****** Written consent from the applicant will be obtained prior to any such additional costs being incurred.



2
A-500
WEST BUILDING ELEVATION
1/4" = 1'-0"



3
A-500
EAST BUILDING ELEVATION
1/4" = 1'-0"

- 1.0 DRAWINGS ARE PROVIDED AS AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF MARSHALL DESIGN STUDIO. ALL COPYRIGHT CONDITIONS ARE RESERVED BY THE DESIGNER WITH RESPECT TO THESE DOCUMENTS. THESE DOCUMENTS SHALL NOT BE DUPLICATED OR USED FOR OTHER THAN THE PURPOSE FOR WHICH THEY WERE ISSUED.
- 2.0 THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS FOR THE WORK AND SHALL REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCEMENT OF WORK.
- 3.0 DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES.
- 4.0 THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, ELECTRICAL, MECHANICAL ETC. INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- 5.0 CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- 6.0 NO CHANGES SHALL BE MADE TO THE WORK DESCRIBED IN THESE DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER.
- 7.0 EXISTING BUILDING ASSUMED TO BE IN GOOD WORKING CONDITION. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER
- 8.0 WHERE EXISTING BUILDING INFORMATION WAS NOT AVAILABLE WE HAVE MADE ASSUMPTIONS AS REQUIRED AND DISPLAYED OUR ASSUMPTIONS IN THE DRAWINGS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER

I, JASON MARSHALL, DECLARE THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES UNDER DIVISION C SECTION 3.2.4 OF THE ONTARIO BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES:

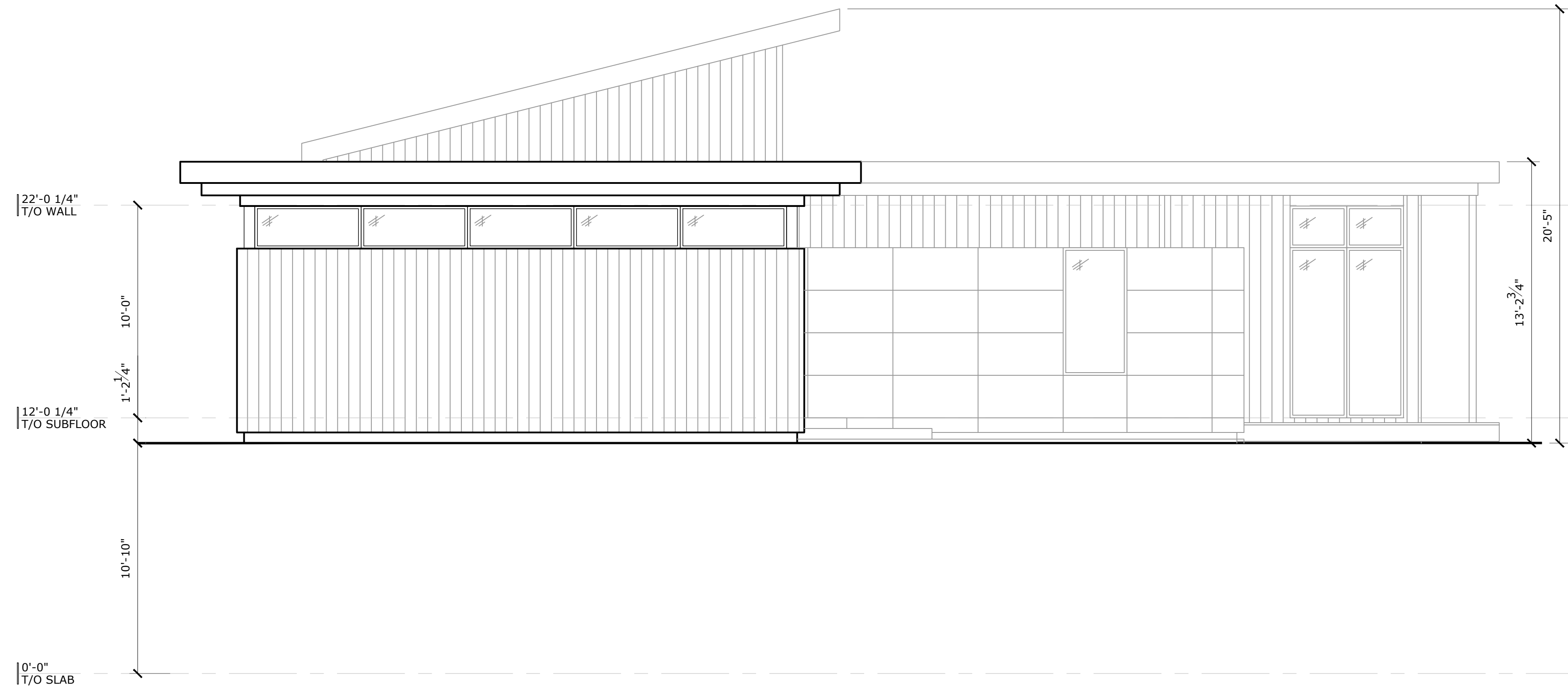
Jason Marshall
 INDIVIDUAL BCIN: 40869
 FIRM BCIN: 42865

TITLE: BUILDING ELEVATIONS

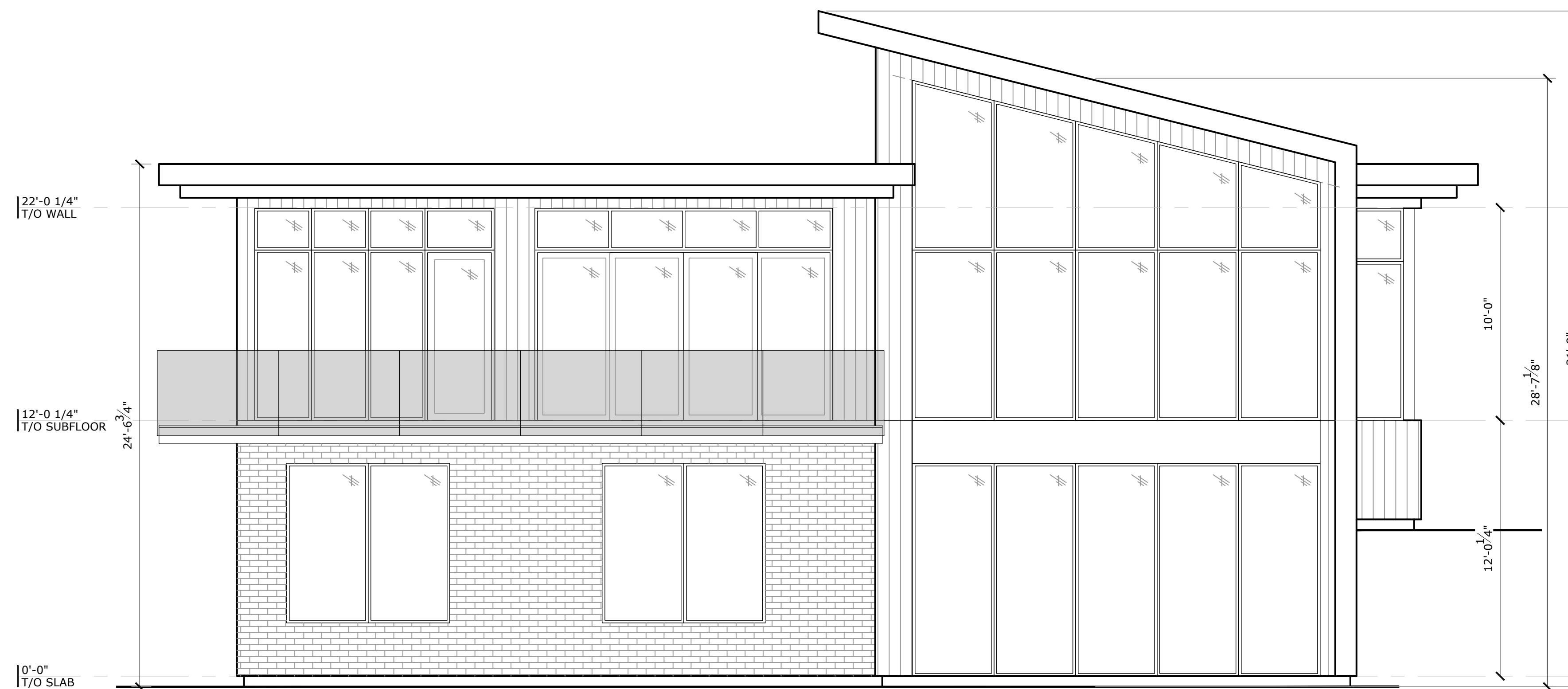
ADDRESS: 694 BIRCHVIEW ROAD
 DOURO-DUMMER, ON.
 DATE: 2025-06-17
 PROJECT: MOORE-PENNER RESIDENCE
 PROJECT No: 25-287
 REVISION:

1.0 2025-06-05 FOR ORCA PERMIT
 DRAWN BY: J.M.
 SCALE: AS NOTED
 PAGE No: A-500





2 SOUTH BUILDING ELEVATION
1/4" = 1'-0"



1 NORTH BUILDING ELEVATION
1/4" = 1'-0"

- 1.0 DRAWINGS ARE PROVIDED AS AN INSTRUMENT OF SERVICE AND REMAIN THE PROPERTY OF MARSHALL DESIGN STUDIO. ALL COPYRIGHT CONDITIONS ARE RESERVED BY THE DESIGNER WITH RESPECT TO THESE DOCUMENTS. THESE DOCUMENTS SHALL NOT BE DUPLICATED OR USED FOR OTHER THAN THE PURPOSE FOR WHICH THEY WERE ISSUED.
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Jason Marshall
 INDIVIDUAL BCIN: 40869
 FIRM BCIN: 42865

TITLE: BUILDING ELEVATIONS

ADDRESS: 694 BIRCHVIEW ROAD
 DOURO-DUMMER, ON.
 DATE: 2025-06-17
 PROJECT: MOORE-PENNER RESIDENCE
 PROJECT No: 25-287
 REVISION:

1.0 2025-06-05 FOR ORCA PERMIT
 DRAWN BY: J.M.
 SCALE: AS NOTED
 PAGE No: A-501

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- 4.0 THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, ELECTRICAL, MECHANICAL ETC. INFORMATION SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE CONSULTANTS DRAWINGS BEFORE PROCEEDING WITH THE WORK.
- 5.0 CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- 6.0 NO CHANGES SHALL BE MADE TO THE WORK DESCRIBED IN THESE DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER.
- 7.0 EXISTING BUILDING ASSUMED TO BE IN GOOD WORKING CONDITION. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER
- 8.0 WHERE EXISTING BUILDING INFORMATION WAS NOT AVAILABLE WE HAVE MADE ASSUMPTIONS AS REQUIRED AND DISPLAYED OUR ASSUMPTIONS IN THE DRAWINGS. ANY DISCREPANCIES TO BE REPORTED TO DESIGNER

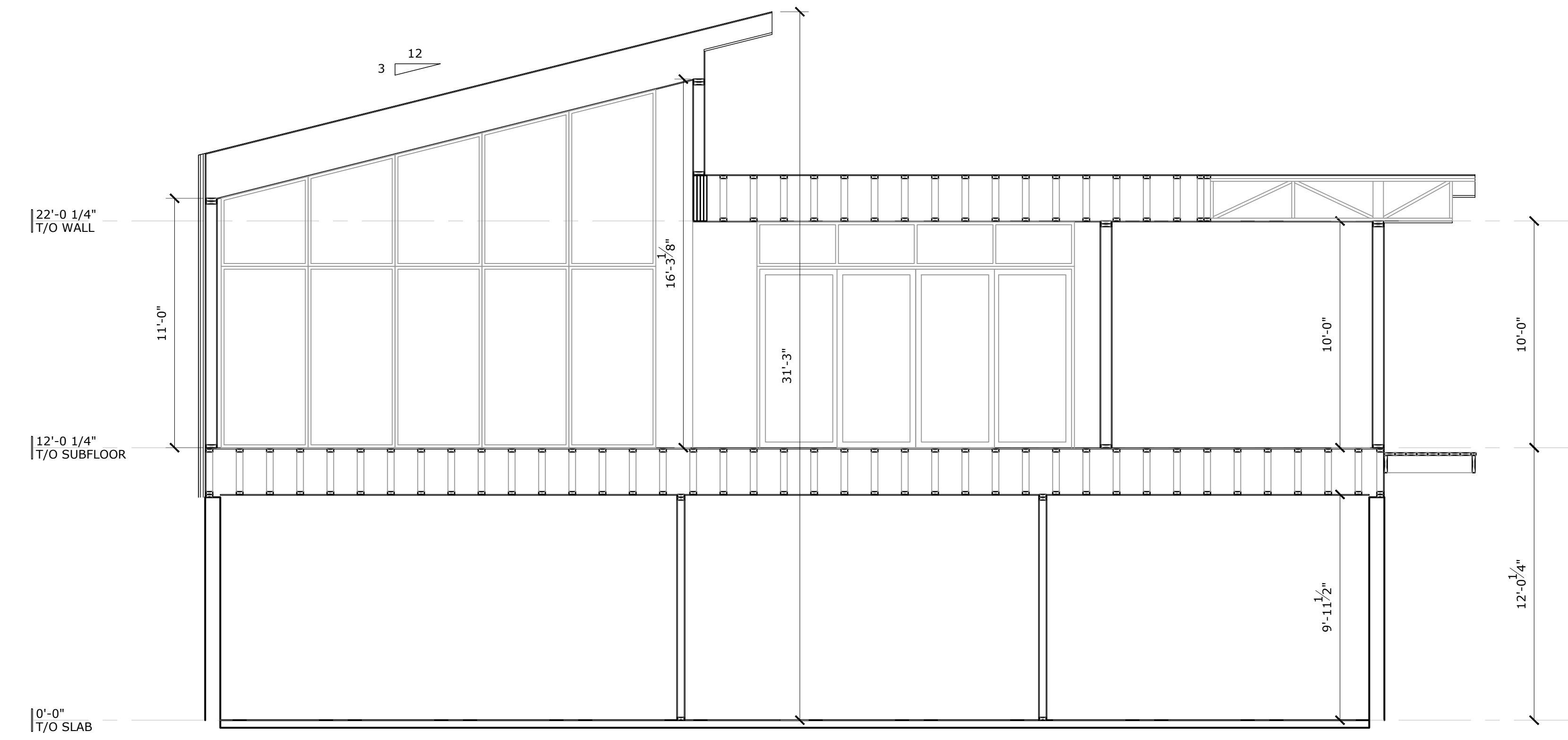
I, JASON MARSHALL, DECLARE THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN ACTIVITIES UNDER DIVISION C SECTION 3.2.4 OF THE ONTARIO BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES:

Jason Marshall
 INDIVIDUAL BCIN: 40869
 FIRM BCIN: 42865

TITLE: BUILDING SECTIONS

ADDRESS: 694 BIRCHVIEW ROAD
 DOURO-DUMMER, ON.
 DATE: 2025-06-17
 PROJECT: MOORE-PENNER RESIDENCE
 PROJECT No: 25-287
 REVISION:

1.0 2025-06-05 FOR ORCA PERMIT
 DRAWN BY: J.M.
 SCALE: AS NOTED
 PAGE No: A-600



BUILDING SECTION
 1/4" = 1'-0"



RE: R-06-25 (Moore) Request for Comments

From Hynes, Pete <PHynes@ptbocounty.ca>
Date Thu 3/19/2026 3:38 PM
To Emily Fitzgerald <efitzgerald@dourodummer.ca>

Thank you for sending the notice for the above-referenced application.

The Engineering and Construction (E&C) Division of Planning, Development and Public Works (PDPW) Department for Peterborough County has no objections, comments or concerns with respect to this application.

Please note that County E&C Staff will not be in attendance for the public meeting.

Regards,

Pete Hynes, P.Eng. (he/him)

Senior Project Coordinator, Transportation Planning
Engineering and Construction, Peterborough County
705-775-7076
www.ptbocounty.ca



From: Emily Fitzgerald <efitzgerald@dourodummer.ca>
Sent: Thursday, March 19, 2026 2:29 PM
To: Emily Fitzgerald <efitzgerald@dourodummer.ca>
Subject: R-06-25 (Moore) Request for Comments

Hello,

The Township of Douro-Dummer is in receipt of a Zoning By-law Amendment for the property located at 694 Birchview Road.

The amendment proposes to rezone the subject property from the Shoreline Residential (SR) Zone to the Special District 267 (S.D. 267) Zone to permit the construction of a new two-storey dwelling with attached open decks. The rezoning will permit a minimum water yard of 18.3 m for the proposed dwelling and 16.5 m for the proposed attached open decks. The rezoning will also recognize the existing deficient shoreline frontage of 42.9 metres.

The Public Meeting concerning this rezoning application has been scheduled for Tuesday, April 21, 2026, at 5:00 p.m. Further details regarding the Public Meeting and the purpose and effect of the application are provided in the attached Notice. Additional information, including the application form, site plan, and supporting technical studies can be found at the following

webpage: <https://www.dourodummer.ca/news/posts/notice-of-complete-application-and-public-meeting-zoning-by-law-amendment-file-no-r-06-25/>.

Please provide us with any comments you may have on this rezoning application no later than 9:00 am on Tuesday, April 21, 2026.

Sincerely,

Emily Fitzgerald, BES (Hons.)
Planner

E: efitzgerald@dourodummer.ca

T: 705-652-8392 ext. 226 | **F:** 705-652-5044



Re: R-06-25 (Moore) Request for Comments

From Jeannette Thompson <jeannette_thompson@kprdsb.ca>

Date Wed 4/1/2026 2:08 PM

To Emily Fitzgerald <efitzgerald@dourodummer.ca>

Hello Emily -

Thank you for circulating the notice of a public hearing for a zoning by-law amendment application related to 694 Birchview Road (Douro) for review.

Please accept this as a formal response from Kawartha Pine Ridge District School Board (KPR). It is KPR's understanding that the intent of the application is to allow for the construction of a single detached dwelling within the high-watermark setback. KPR has reviewed the application and has not identified any concerns or issues related to our mandate with the proposed amendment.

Thank you for the opportunity to comment.

Kind Regards,

Jeannette Thompson

Jeannette Thompson, BSc, MCIP, RPP

Manager, Planning Services

Kawartha Pine Ridge District School Board

1994 Fisher Drive Peterborough, ON K9J 6X6

705.742.9773 x 2169 | 1.877.741.4577 x 2169

www.kprschools.ca

Excel in Learning | Succeed in Life | Enrich Community

EMAIL CONFIDENTIALITY NOTICE: This email may be privileged or confidential and is intended solely for the above-named recipient(s). If you are not the intended recipient, please delete this email and notify the sender. Any unauthorized copying, distribution, or other use of the information contained in this email is prohibited.

From: Emily Fitzgerald <efitzgerald@dourodummer.ca>

Sent: Thursday, March 19, 2026 2:29 PM

To: Emily Fitzgerald <efitzgerald@dourodummer.ca>

Subject: R-06-25 (Moore) Request for Comments

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

The Township of Douro-Dummer is in receipt of a Zoning By-law Amendment for the property located at 694 Birchview Road.

The amendment proposes to rezone the subject property from the Shoreline Residential (SR) Zone to the Special District 267 (S.D. 267) Zone to permit the construction of a new two-storey dwelling with attached open decks. The rezoning will permit a minimum water yard of 18.3 m for the proposed dwelling and 16.5 m for the proposed attached open decks. The rezoning will also recognize the existing deficient shoreline frontage of 42.9 metres.

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Please provide us with any comments you may have on this rezoning application no later than 9:00 am on Tuesday, April 21, 2026.

Sincerely,

Emily Fitzgerald, BES (Hons.)
Planner

E: efitzgerald@dourodummer.ca
T: 705-652-8392 ext. 226 | **F:** 705-652-5044





Ontario Waterways

Trent-Severn Waterway National Historic Site &
Rideau Canal National Historic Site
PO Box 56, 2155, Ashburnham Drive
Peterborough, ON K9J 6Z6
705-750-4900
Fax: 705-742-9644

Voies navigables de l'Ontario

Lieu historique national du Canada de la Voie-Navigable-Trent-Severn &
Lieu historique national du Canada du Canal-Rideau
C.P. 567, 2155, promenade Ashburnham
Peterborough, ON K9J 6Z6
705-750-4900
Télécopieur: 705-742-9644

8500-DOU-200

March 24, 2026

Planning Department – Township of Douro-Dummer
894 South Street
Warsaw ON

Dear Martina Chaithartwig:

**Re: Zoning By-Law Amendment Application; 694 Birchview Road
Part of Lot 25, Conc 2, Part 1, Plan 45R-17775
Geographic Township of Douro, Township of Douro-Dummer,
County of Peterborough
File#: R-06-25
Clear Lake**

We have now had an opportunity to review the above-noted zoning by-law amendment application. The Parks Canada Agency does not have any objection with this application.

Should the property owner wish to undertake any in-water or shoreline works at this location, they will require an approved permit from this office prior to the commencement of any work. This includes, but is not limited to, installation, repair, replacement, removal, and expansion of any works. Works are described as any structure or activity located in, on, under or over the bed and waters of Clear Lake including, but not limited to, docks, boat lifts, boat houses and ports, marine railways, shoreline stabilization, and aquatic vegetation removal.

The In-Water and Shoreline Works and Related Activities Policy and online application can be found at the following link;

<https://parks.canada.ca/lhn-nhs/on/trentsevern/info/services-immobiliers-realty/permis-permits>

Clear Lake forms part of the Trent-Severn Waterway National Historic Site of Canada. It is administered by Parks Canada to protect its natural, cultural, and scenic value for all Canadians to enjoy today and in the future. All parties have a responsibility to ensure the stewardship and conservation of this nationally recognized waterway. Adherence to applicable regulations and policies is one aspect of helping to protect the natural, cultural and scenic attributes of the Trent-Severn Waterway.



Should you have any questions or comments, please contact me at Alanna.boulton@pc.gc.ca or 705-750-4516.

Best regards,


Alanna Boulton
Real Property Officer
Ontario Waterways, Trent-Severn Waterway

Re: R-06-25 (Moore) Request for Comments

From Emily Fitzgerald <efitzgerald@dourodummer.ca>

Date Mon 3/23/2026 9:00 AM

To Julie Kapyrka <jkapyrka@alderville.ca>

 2 attachments (2 MB)

R-06-25 Archaeological Assessment.pdf; ENTERED INTO REGISTER_ Archaeological Report for P038-1600-2025.pdf;

Hi Julie,

A Stage 1/2 Archaeological Assessment has been completed in support of this application and has been attached for your reference.

Please let me know if you require anything further.

Best,

**Emily Fitzgerald, BES (Hons.)
Planner**

E: efitzgerald@dourodummer.ca

T: 705-652-8392 ext. 226 | **F:** 705-652-5044



From: Julie Kapyrka <jkapyrka@alderville.ca>

Sent: Saturday, March 21, 2026 2:39 PM

To: Emily Fitzgerald <efitzgerald@dourodummer.ca>

Subject: RE: R-06-25 (Moore) Request for Comments

Aaniin Emily,

This property has a very high potential for archaeological resources and/or burial sites. An archaeological assessment is required prior to any demolition and/or soil disruption.

Miigwech.
All the best,

Dr. Julie Kapyrka
Consultation Manager



Alderville First Nation

11696 Second Line Rd.
Roseneath, ON K0K 2X0
905-352-2662
jkapyrka@alderville.ca

From: Emily Fitzgerald <efitzgerald@dourodummer.ca>
Sent: Thursday, March 19, 2026 2:29 PM
To: Emily Fitzgerald <efitzgerald@dourodummer.ca>
Subject: R-06-25 (Moore) Request for Comments

Hello,

The Township of Douro-Dummer is in receipt of a Zoning By-law Amendment for the property located at 694 Birchview Road.

The amendment proposes to rezone the subject property from the Shoreline Residential (SR) Zone to the Special District 267 (S.D. 267) Zone to permit the construction of a new two-storey dwelling with attached open decks. The rezoning will permit a minimum water yard of 18.3 m for the proposed dwelling and 16.5 m for the proposed attached open decks. The rezoning will also recognize the existing deficient shoreline frontage of 42.9 metres.

The Public Meeting concerning this rezoning application has been scheduled for Tuesday, April 21, 2026, at 5:00 p.m. Further details regarding the Public Meeting and the purpose and effect of the application are provided in the attached Notice. Additional information, including the application form, site plan, and supporting technical studies can be found at the following webpage: <https://www.dourodummer.ca/news/posts/notice-of-complete-application-and-public-meeting-zoning-by-law-amendment-file-no-r-06-25/>.

Please provide us with any comments you may have on this rezoning application no later than 9:00 am on Tuesday, April 21, 2026.

Sincerely,

Emily Fitzgerald, BES (Hons.)
Planner

E: efitzgerald@dourodummer.ca
T: 705-652-8392 ext. 226 | **F:** 705-652-5044

Township of
Douro-Dummer
www.dourodummer.ca


Re: [EXTERNAL]R-06-25 (Moore) Request for Comments

From Kevin M Duguay <kevin@kmdplanning.com>

Date Sun 4/5/2026 6:41 PM

To Coordinator at Francis Chua Consulting <coordinator@francischua.com>

Cc Scott Moore <leslie.scott.moore@gmail.com>; Emily Fitzgerald <efitzgerald@dourodummer.ca>

 2 attachments (2 MB)

2025-840 Original Stage 1-2 Report (16 June 2025).pdf; ENTERED INTO REGISTER_ Archaeological Report for P038-1600-2025.pdf;

Debbie

See the attached documents

Thanks

Kevin

On 4/5/2026 12:36 PM, Coordinator at Francis Chua Consulting wrote:

Good morning,

Please see the attached correspondence from Curve Lake First Nation regarding the proposed zoning bylaw amendment for the property located at 694 Birchview Road (R-06-25).

Many thanks,

Debbie Balika
Support to Curve Lake First Nation
Consultant to Francis Chua Consulting Inc.

From: Emily Fitzgerald <efitzgerald@dourodummer.ca>

Sent: March 19, 2026 2:29 PM

To: Emily Fitzgerald <efitzgerald@dourodummer.ca>

Subject: [EXTERNAL]R-06-25 (Moore) Request for Comments

CAUTION/Wewena sa naa!: This is an external email from outside Curve Lake First Nation. Please take care when clicking links or opening attachments and check the senders e-mail address. When in doubt contact the sender by phone or reach out to the IT Department (aasnaa@curvelake.ca) | Ow waasmo-bii'gan gii-biwnjibaamgad n'goji maa goj'yi'ing Oshkiigamaag. Aangwaam'zin pii ewanaab'ndman aan'koobjig'nan maage'sh zheyaakonaman gegoon e-aan'koobdeg, naanaagdawaab'ndan ezhibii'igaadeg e-aawid aw gaa-waasmo-maajibii'ged. Giishpin gyakwendanzwan, Gdaa-gnoonaa aw gaa-maajibii'ged aabjitooyen biiwaabkoonsgii'g'dowin maage ggwejim aw ewezhtood waasmo-zhibiigew-aabjichganan (aasnaa@curvelake.ca).

Hello,

The Township of Douro-Dummer is in receipt of a Zoning By-law Amendment for the property located at 694 Birchview Road.

The amendment proposes to rezone the subject property from the Shoreline Residential (SR) Zone to the Special District 267 (S.D. 267) Zone to permit the construction of a new two-storey dwelling with attached open decks. The rezoning will permit a minimum water yard of 18.3 m for the proposed dwelling and 16.5 m for the proposed attached open decks. The rezoning will also recognize the existing deficient shoreline frontage of 42.9 metres.

The Public Meeting concerning this rezoning application has been scheduled for Tuesday, April 21, 2026, at 5:00 p.m. Further details regarding the Public Meeting and the purpose and effect of the application are provided in the attached Notice. Additional information, including the application form, site plan, and supporting technical studies can be found at the following webpage:
<https://www.dourodummer.ca/news/posts/notice-of-complete-application-and-public-meeting-zoning-by-law-amendment-file-no-r-06-25/>.

Please provide us with any comments you may have on this rezoning application no later than 9:00 am on Tuesday, April 21, 2026.

Sincerely,

Emily Fitzgerald, BES (Hons.)
Planner

E: efitzgerald@dourodummer.ca
T: 705-652-8392 ext. 226 | F: 705-652-5044



--

Kevin M. Duguay, MCIP, RPP
KMD Planning Inc.
560 Romaine Street, Peterborough K9J 2E3
O: 705 749 6710 C: 705 931 0975
kevin@kmdplanning.com , www.kmdplanning.com
Celebrating 20 Years of Business

City of Peterborough Councillor, Ward 1 (Otonabee)
Vice-Chair, Otonabee Region Conservation Authority
Rotary Club of Peterborough, Member and Club Past - President, (2014/15 and
2018/19)
Director, Rotary BREW International Fellowship
Member, Chamber of Commerce
Member, 100 Men Club of Peterborough



April 15th 2026.

Emily Fitzgerald

Planner

Township of Douro-Dummer
894 South Street, P.O. Box 92,
Warsaw Ontario, K0L 3A0

Dear Emily Fitzgerald:

**RE: R-06-25, Leslie Scott Moore, 694 Birchview Road, Township of Douro Dummer,
Roll # 1522 010 001 14600; ORCA file: PPLD-2390**

The Otonabee Region Conservation Authority (Otonabee Conservation) received the circulation for a Zoning By-law Amendment for the above noted property on March 19th 2026. Otonabee Conservation has reviewed the application and the following supporting documentation in accordance with our mandate and policies:

- Site Plan Showing Existing & Proposed Buildings at 694 Birchview Road, Provided by JBF Surveyors, Dated January 28th 2026.
- Planning Justification Report (November 2025) - Zoning By-law Amendment Application 694 Birchview Road, Township of Douro-Dummer, Prepared by Kevin M Duguay Community Planning and Consulting Inc.
- Township of Douro-Dummer Application for Amendment to Zoning By-law #10-1996 for 694 Birchview Road.
- Building Elevations A-500, A-501, A-600, Provided by Marshall Desing Studio, Dated June 17th 2025.
- Township of Douro-Dummer Notice of Complete Application and Public Meeting Concerning a proposed Zoning By-law Amendment Application R-06-25.
- Construction Plans, Prepared by Marshall Design Studio.
- Environmental Impact Study, Prepared by Sumac Environmental Consulting, Dated September 2025.

250 Milroy Drive, Peterborough ON K9H 7M9

P: 705-745-5791 F: 705-745-7488

otonabeeca@otonabeeconservation.com

otonabeeconservation.com

The purpose of the above noted application is to rezone the subject property from the Shoreline Residential (SR) Zone to the Special District 267 (S.D. 267) Zone to facilitate the construction of a new two-storey dwelling with attached unenclosed decks. The S.D. 267 Zone will have the following effects:

1. Permit a minimum water yard of 18.3 m for the proposed dwelling and 16.5 m for the proposed attached decks whereas the minimum water yard otherwise required is 30 m.
2. Recognize the existing deficient shoreline frontage of 42.9 m whereas the minimum shoreline frontage otherwise required is 60 m.

Otonabee Conservation's interest in this application is four-fold:

1. *Otonabee Conservation has reviewed this application through our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in any planning statement or provincial plan issued under the Planning Act.*

Otonabee Conservation mapping indicates that the proposed development is not located within a known flooding natural hazard. The slope and any erosion hazards will be addressed at permitting stage with Engineering principals. **Therefore, it is the opinion of Otonabee Conservation that the application is consistent with Chapter 5 of the Provincial Planning Statement (PPS), referencing Natural Hazards.**

2. *Provincial policies dictate that development shall not create new or aggravate existing natural hazards. Otonabee Conservation has reviewed this application through our mandated responsibility under Ontario Regulation 686/21 and provide the following comments, technical support or information, and advice.*

The development includes expanding further back into the slope hazard associated with Clear Lake. The slope and any erosion hazards will be addressed at permitting stage with Engineering principals. **Based on the information provided and to be provided, the proposed development will not create new or aggravate existing hazards.**

3. *Otonabee Conservation has reviewed the application through a regulatory lens. Ontario Regulation 41/24 prohibits any development, interference with, or alteration within a flooding hazard, erosion hazard, hazardous lands, watercourse, wetland and/or their*

adjacent lands/areas of interference unless a permit has been issued by Otonabee Conservation under Section 28 of the Conservation Authorities Act.

Otonabee Conservation mapping indicates that the lands are partially subject to Ontario Regulation 41/24 Otonabee Conservation's "Prohibited Activities, Exemptions and Permits" regulation. The applicant has acknowledged grading plans and engineered stamped drawings will be provided in a permit application for an Otonabee Conservation permit application. **Permits from this agency are required prior to any site alteration or construction in those areas regulated by Otonabee Conservation.**

4. *Otonabee Conservation has reviewed the proposed development to assess the applicability of the Clean Water Act (CWA). The CWA which is part of a [provincial multi-barrier approach to protect drinking water from source to tap](#) identifies [vulnerable areas](#) where human activity can pose a [threat](#) to sources of drinking water. Policies in the [Trent Source Protection Plan \(SPP\)](#) manage existing and future [threats](#) in select vulnerable areas. The Provincial Planning Statement, 2024, applies to all vulnerable areas.*

It has been determined that the subject property is not in a vulnerable area and Trent Source Protection Plan policies do not apply. The proposed development is not subject to review by the Risk Management Office, and a [Restricted Land Use Notice](#) is not required.

However, Otonabee Conservation wishes to inform you that the property is within the following *other* vulnerable areas but no further action is required at this time:

- Intake Protection Zone 3 (low and/or moderate threats may be possible)
- Highly Vulnerable Aquifer

If you have any questions, please do not hesitate to call.

Yours truly,

Marnie Guindon

Marnie Guindon
Planning and Regulations Officer

cc: Don Allin, Otonabee Conservation

250 Milroy Drive, Peterborough ON K9H 7M9
P: 705-745-5791 F: 705-745-7488
otonabeeca@otonabeeconservation.com
[otonabeeconservation.com](https://www.otonabeeconservation.com)

Delegation to Council or Committee of the Whole Request Form

If you would like to attend as a delegation before Council for the Township of Douro-Dummer or the Committee of the Whole, you must complete this form and submit it to the Municipal Office. Please note that the deadline for delegation requests is 12-noon, on the Tuesday prior to the meeting date (seven days before the meeting date).

A copy of any presentation or supporting materials is also required to be submitted at 12-noon, on the Tuesday prior to the meeting date. The only formats accepted are as follows: PFD, PowerPoint, Word, Excel or Jpeg.

Please note that as per Procedural By-law 2022-21, as amended, only three Delegations shall be scheduled for each meeting. The time limit of 10 minutes shall be strictly enforced.

Name of Individual(s) *

Name of Organization:

Please Provide an Email Address:

Please provide a phone number:

[REDACTED]

Nature of delegation request: *

funding of douro community center ice pad

- Request to have minor sports and user groups contribute to the project
- Request to have youth involved in the project through art or volunteerism
- Request for community engagement in ribbon cutting or other celebration of the new floor service

Please upload any additional information you wish to submit.

Please provide a signature *

[REDACTED]

For the purposes of the Freedom of Information and Protection of Privacy Act, by submitting this form, I/we authorize and consent to the use by, or the disclosure, to any person or public body or publishing on the Municipal website any information that is contained in this submission and recognize that my/our name may become part of the public record.

Thank You

Thank you for submitting your Delegation request. The Clerk's Office will reach out to you shortly.

Township Douro-Dummer

Report and Capital Project Status

- Directed by Council and/or CAO
- Directed by the Province/legislation
- Directed by an Agency
- New items and updates are highlighted in Yellow

Report Status

Department	Date Requested	Directed By	Resolution/Direction	Est. Report Date
Public Works	May 3, 2022	Council	Future Gravel Resources	Ongoing
Finance	February 21, 2023	Council	Policy to allow for multi-year budgets	Summer 2024
Finance	April 7, 2026	Council	Treasurer to provide written progress updates to Council monthly until the 2024 Audit is completed and audited financial statements are presented to Council	2026
Clerks	April 7, 2026	Council	Staff to request MPP Smith provide information on closures and new services regarding safe injection sites	2026
CAO	August 5, 2025	Council	That the Community Grant Program and Policy be amended to add a special fund for the revenue received from returnable bottles collected at the Hall's Glen Transfer Station	Q2 2026

CAO	October 21, 2025	Council	A report on the breakdown of the \$40,000 Building Department review, and how it can be apportioned out between the Building Department Budget and Tax Levy.	2026
CAO	March 3, 2026	Council	Staff to review Mr. Taylor's delegation regarding the tender associated with the expansion to the Public Works Building and New Fire Hall and bring back a report to Council.	Completed

Capital Project/Program Status

Department	Capital Project List	Status
CAO Office	Corporate IT Hardware Modernization	In progress
CAO Office	Consultant Fees – Facility Maintenance Plan	In progress
Clerk	Computer Software – Record Management Software	Phase One complete, Phase 2 to start Q1 2026
Finance	Asset Management Study and Data Updates	In progress
Fire	Station 1 Building Review and Drawings	Due 2025
Fire	Pumper 1 and 4	Due 2026 - Delivery

Fire	Bunker Gear	Completed
Fire	AED Replacement year 1 or 2	In progress 2026
General Government	New Sloped Roof – Town Hall	In monitoring phase
General Government	Finance Modernization – end of life Finance system replacement	In progress – ongoing 2026-2028
General Government	Storage Room Exterior Door Replacement	Due 2025
Library	Building Improvements	2026
Parks and Recreation	Lime Kiln Restoration – 2022 Budget	Q2 - 2026
Parks and Recreation	Consultant Fees – Arena Facilities Future Ad-Hoc Committee	Q4 - 2026
Parks and Recreation	Picnic tables	Received
Parks and Recreation	Ice Floor Replacement at Douro Community Centre	In progress 2026
Parks and Recreation	Water Treatment Replacement at Douro Community Centre	2026
Parks and Recreation	50hp Compressor Overhaul at Warsaw Community Centre	2026

Parks and Recreation	South Park Stair Replacement	2026
Parks and Recreation	Recreation & Facilities rate fee study	With Draft 2027 User Fees and Charges By-law
Planning	Zoning By-Law Update	On hold until Province Approves OP
Public Works	Gravel Pit Purchase	Ongoing
Public Works	Culvert & Structure Inspections	2026
Public Works	Generator at Warsaw Public Works Building	2026
Public Works	<p style="text-align: center;"><u>Gravel</u></p> <p>6th Line South Dummer from Webster Rd to North limit Fourth Line Dummer from Cooper Rd to North limit Douro First Line Rd from Cedar Cross Rd to County Rd 4 Douro First Line Rd from Division Rd to County Rd 8 Third line Dummer from County Rd 8 to Clifford Rd Carlow Line from County Rd 8 to Division Rd Centre Rd from Highway 28 to County Rd 32 Douro 5th Line Rd from County Rd 8 to Division Rd Gilchrist Bay Road from County Rd 6 to Little lane Payne Line Rd from Cedar Cross Rd Douro 5th Line Rd from County Rd 6 to Lynch's Rock Rd Third line Dummer from County Rd 8 to South limit</p>	2026

	Douro First Line Rd from County Rd 4 to South limit Douro First Line Rd from Cedar Cross Rd to North limit Ivandale Rd from White Lake Rd East to West limit 7th Line Rd Mid Dummer from Webster to North limit	
Public Works	<p style="text-align: center;"><u>Surface Treatment</u></p> Douro 5th Line from County Rd 8 to 700m South Ford Street Strickland St from Highway 28 to Douro 5th Line Church Street Water Street West Street Moodie Drive from Stenner Rd to East limit English Line from County Rd 4 to South limit Mill Street Stenner Rd from County Rd 29 to North limit South Beach Road from Highway 28 to East limit Douro Third Line from South Beach Rd to Rishor Avenue Douro 5th Line from Lynch Rock Rd to Strickland St Old Highway 28 from South Beach Road to the North limit	2026

Recommendation:

That the report Fire Chief-2026-03, dated April 21, 2026, regarding the update and creation of Fire Department policies be received and that Council approves the new and amended Polices as listed below:

- Policy Section 1.01 Turnout Gear
- Policy Section 1.03 PASS Alarm
- Policy Section 1.04 PPE Field Decontamination
- Policy Section 2.01 Use of Seatbelts
- Policy Section 2.02 Riding Exterior of Fire Apparatus
- Policy Section 2.03 Use of Jewelry
- Policy Section 2.04 Accountability
- Policy Section 2.05 Entry Control
- Policy Section 2.06 Emergency Evacuation
- Policy Section 2.07 Rapid Intervention Team
- Policy Section 2.10 Rehabilitation
- Policy Section 2.11 Mayday
- Policy Section 2.13 Exposure reporting
- Policy Section 2.14 Vehicle and Equipment recertifications
- Policy Section 2.15 Out of Service Tags
- Policy Section 2.16 Fuel Handling
- Policy Section 3.00 Certification
- Policy Section 3.02 Chain of Command
- Policy Section 3.04 Code of Conduct
- Policy Section 3.07 Accident Reporting
- Policy Section 3.13 Social Media
- Policy Section 3.15 Level of Service

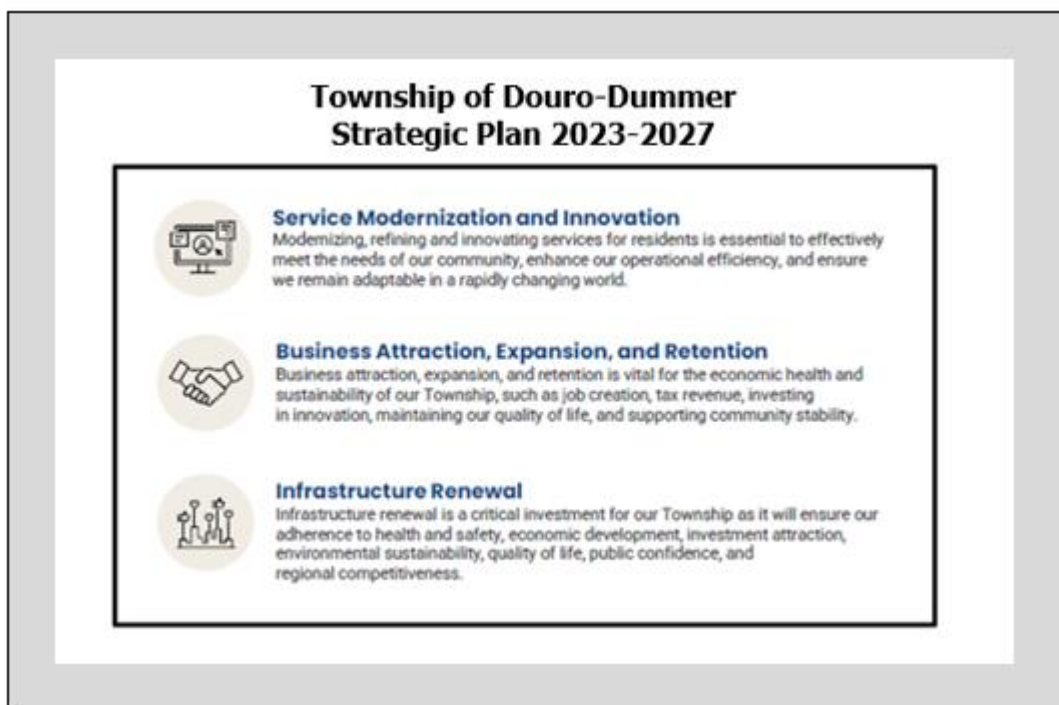
Overview: The Fire Department Operating Guidelines have historically been a mix of guidelines and policies. Over the years the Department has also adopted and implemented some of the Township's HR Policies which have not necessarily fit the role of a volunteer paid on-call firefighter. Part of the Township's Master Fire Plan recommendations was to separate the policies from the guidelines.

The Township's Establishing and Regulating Fire Services By-law outline that Council must approve all policies, and the Fire Chief should approve operational guidelines, procedures and best practices. Many of the attached policies existed previously, with some being divided to create a policy and the associated operational procedure, some having administrative corrections, some are being amended to fit the current department arrangement, some are modified Township Policies to better fit a volunteer Fire Department, and some are new.

To avoid any confusion with old Operating Guidelines, we will be using the term Policy and Best Practices. We are updating the Best Practices in conjunction with the new polices as they are developed since this process often splits a previous Operating Guideline into a Policy portion and a Best Practice portion. Staff have also captured the certification requirements which are coming into effect July 2026. There are additional polices to be developed in the Human Resources section that will be presented to Council at a future meeting.

Conclusion: The updating and improvement of our existing Operating Guidelines as per the Fire Master Plan into the Fire Department’s Policies and Best Practices will help guide the Fire Department forward, provide clear directions for our members, and distinguish what is a discipline issue vs. an issues where more training required.

Financial Impact: There is no financial impact to these changes.



Report Approval Details

Document Title:	Fire Dept. Policies - Fire Chief-2026-03.docx
Attachments:	<ul style="list-style-type: none"> - Policy 1.01 Turnout Gear.docx - Policy 1.03 PASS alarm.docx - Policy 1.04 PPE Field Decontamination.docx - Policy 2.01 Use of Seatbelts.docx - Policy 2.02 Riding Apparatus Exterior.docx - Policy 2.03 Use of Jewelry.docx - Policy 2.04 Accountability.docx - Policy 2.05 Entry Control.docx - Policy 2.06 Emergency Evacuation.docx - Policy 2.07 Rapid Intervention Team.docx - Policy 2.11 Mayday.docx - Policy 2.13 Exposure Reporting.docx - Policy 2.14 Vehicle and Equipment Maintenance.docx - Policy 2.15 Out of Service Tags.docx - Policy 2.16 Fuel Handling.docx - Policy 3.00 Certification.docx - Policy 3.02 Chain of Command.docx - Policy 3.04 Code of Conduct.docx - Policy 3.13 Social Media.docx - Policy 3.15 Level of Service.docx - Policy 3.07 Accident Reporting.docx
Final Approval Date:	Apr 16, 2026

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

Douro-Dummer Fire Service Policy

Policy: 1.01

Date: April 2026

Revised Date:

Page: 1 of 2

Section: Personal Protective Equipment (PPE)

Subject: Turnout Gear

Purpose: To establish a policy to protect personnel while performing their duties as firefighters.

Scope: This policy is to be followed by all firefighting personnel

Policy:

Turnout gear, by definition, shall consist of the following:

- Firefighting Boots
- Firefighting Gloves
- Firefighting Hoods
- Firefighting Helmets
- Firefighting Bunker coat with DRD
- Firefighting Pants

These items shall meet applicable NFPA standards on protective ensembles for structural firefighting and on selection, care, and maintenance of protective ensembles for structural firefighting.

Turnout gear will not be used for interior firefighting if they are over their 10 year end of service date.

Expired turnout gear will be retired from use and stored to be used as temporary secondary gear but can not be used for interior fire operations. Legacy firefighters may use gear that is beyond 10 years of age as they do not perform interior firefighting operations.

1. Firefighters will wear their department issued PPE when actively participating in an area that requires this type of protective clothing. This includes both response and training.
2. Firefighter turnout gear should remain at their respective stations, unless otherwise approved. No unclean gear shall be transported in a personal vehicle when there's a risk of interior cabin off gassing is present.

3. Turnout gear shall be worn in accordance with the manufacturer's specifications and established training standards. It is the responsibility of supervisors, under section 27(b) of the Occupational Health and Safety Act, to ensure that protective clothing is worn. It is the responsibility of all workers, under section 28 (b) of the Occupational Health and Safety Act, to ensure that they wear the required protective clothing in the proper manner. Protective clothing shall not be altered.

4. All protective equipment shall be decontaminated and inspected and repaired as required after exposure to hazardous environments and/or blood and body fluids.

If any piece of PPE is found defective or damaged it should be reported to their Officer, and the Officer will take appropriate actions, including reporting it through the chain of command.

5. **Inspections**

- Firefighters shall conduct an annual inspection and cleaning of firefighter turnout gear approximately at the 6-month date since newly issued or since the 3rd party inspection, with a completed "Personal Protective Equipment Checklist" sent to the fire administrative assistant.
- Non-routine inspections and cleaning of firefighter turnout should be completed immediately after every exposure to hazardous environment or bloodborne/body fluids. Cleaning shall be completed as per the decontamination procedure.
- Advanced inspections, testing, and cleaning are completed annually by a 3rd party Vendor.

Reference Policies

Policy 1.04 Field Decontamination

Reference Best Practices

7.13 Decontamination

Douro-Dummer Fire Service Policy

Policy: 1.03

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Personal Protective Equipment

Subject Personal Alert Safety System

Purpose: To establish a policy for the use of personal alert safety system by personnel when utilizing self-contained breathing apparatus.

Scope: This policy shall be followed by all personnel.

Policy:

This policy shall be followed by all personnel.

1. Douro-Dummer breathing apparatus has integrated PASS alarm technology that once the scba bottle has been opened, the PASS alarm should activate automatically. The PASS alarm will create a noise to indicate that the unit is on and the alarm is ready.
2. Personal alert safety devices shall be operated and maintained in accordance with manufacturer's specifications.
3. Personal alert safety devices shall be checked prior to use and after each use and during monthly equipment maintenance nights. Devices which malfunction shall be tagged out of service and reported to the officer in charge.

Douro-Dummer Fire Service Policy

Policy: 1.04

Date: April 2026

Date Revised:

Page: 1 of 2

Section: Personal Protective Equipment

Subject: PPE Decontamination on Scene and Post Incident

Purpose: To establish a policy to ensure PPE & equipment are decontaminated, when exposed to contamination during a fire event.

Scope: This policy is to be followed by any fire personnel exposed to contamination because of a fire event.

Policy: Evidence supports that decontamination is key to preventing exposure to cancer causing carcinogens. This policy is intended to reduce the impact on the firefighters from fire related activities.

1. Firefighters shall ensure initial decontamination of exposed gear is completed after a firefighter exits a space when products of combustion are present.
2. Firefighters shall ensure that secondary decontamination of gear is completed at the appropriate fire station or properly prepared for transport to a third-party cleaner when necessary in accordance with DDFS Best Practices.

Reference Policies

1.01 for care options

Reference Best Practices

7.13 Decontamination

Douro-Dummer Fire Service Policy

Policy: 2.01

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Operations

Subject: Use of Seat Belts

Purpose: To establish a policy for the use of seatbelts in order to protect fire department personnel.

Scope: This policy shall be followed by all personnel while riding in a fire apparatus.

Policy:

1. Seatbelts shall be worn in accordance with the Highway Traffic Act by all personnel while riding in a moving **vehicle**.
2. Personnel are not to don their bunker gear while the vehicle is in motion.
3. Best practice is to don prior to entering the **vehicle** or on arrival on scene. Passengers in apparatus with in-seat SCBA may don the SCBA while wearing seat belts. SCBA mechanical latching device shall not be released until the vehicle is stopped and the firefighter is ready to exit.

Douro-Dummer Fire Services Policy

Policy: 2.02

Date: April 2026

Revised Date:

Page: 1 of 2

Section: Operations

Subject: Riding Apparatus Exteriors

Purpose: To establish a policy regarding personnel riding on the exterior of apparatus. The intent is to transport personnel or to operate equipment while in motion, as necessary to benefit the outcome of the event.

Scope: This policy is to be followed by all personnel

- Policy:**
1. No personnel shall be permitted to ride on the exterior of an apparatus, with exception as described in the OH&S Act.
 - a) The Act describes situations where being seated within the cab is not necessary when **travelling under 8km/h**. An example of this would be a grass fire.
 - b) Anytime this exemption is being conducted, communications must be clearly established, whether by radio or face-to-face communication between the vehicle driver and the firefighter(s) being transported and/or involved in tactical operations.

Douro-Dummer Fire Services Policy

Policy: 2.03

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Operations

Subject: Use of Jewelry

Purpose: To establish a policy where wearing jewelry may cause or intensify injury while performing emergency and/or training duties.

Scope: This policy is to be followed by all personnel during any activities in which full protective clothing is required.

Policy:

1. Jewelry which may cause or intensify injury due to heat or mechanical injury due to pulling, tearing, conduction, etc. shall not be worn during emergency and/or training activities at which the wearing of protective clothing is required. Examples include items such as earrings, necklaces and bracelets.

Douro-Dummer Fire Department Policy

Policy: 2.04

Date: April 2026

Revised Date:

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Section: Operations

Subject: Accountability

Purpose: To ensure all fire personnel are accounted for and to prevent freelancing

Scope: This policy applies to all fire personnel

Policy:

- All interior firefighters will be issued two tags for accountability purposes, and all exterior (Legacy) firefighters will only have one as they are not to perform any interior firefighting tactics.
- It is the responsibility of the officer in charge to be accountable for members that are on scene of their incident. For small incidents such as class 1 alarms a tracking system may not be necessary as the span of control is small and controlled, but if the incident grows to multiple units and stations, then our accountability system is to be utilized to ensure the tasks and location of our firefighters are always known.
- It is the responsibility of the individual firefighter to report to command or the accountability officer if designated when they have arrived on scene and are ready for assignment and hand in their tag(s)

Reference Policy:

2.05 Entry Control

Reference Best Practices:

12.05 Accountability

Douro-Dummer Fire Services Policy

Policy: 2.05

Date: April 2026

Revised Date:

Page: 1 of 2

Section: Operations

Subject: Entry Control

Purpose: To establish policy to control and track the entry of personnel into hazard areas and to monitor the location and length of time they are operating in the "Hot Zone".

Scope: This Policy is to be followed at all emergencies where personnel are conducting interior firefighting or at any incident where the Incident Commander deems that its use is necessary to ensure personnel safety.

Guidelines:

1. Any firefighter with a red entry tag shall ensure their tags are given to entry control before entering a structure. This could be IC, an assigned accountability person or a dedicated entry control person.
2. The Accountability role will conduct scene accountability and entry control until an Entry Control Officer is appointed by command.
3. Once an Entry Control Officer is assigned, they will utilize a truck board and relocate Entry Control from the On Scene Accountability board to the Entry Control board, and will manage Entry Control with RED TAGS of Teams who have entered or are entering the IDLH/Hot Zone. Entry Control will record the time, location of entry, on air time and assignment.
4. The Entry Control Officer will track the time each team has spent in the hazardous area and shall report to the incident commander any teams who are operating in the hazardous area for more than 10 minutes.
5. Based on those reports from Entry Control to Incident Command, the IC will then take appropriate measures to either ensure that the team in the hot zone has adequate air supply to continue safe operations or have another team staged to cycle out the exiting team.
6. Teams are to report immediately to Entry Control upon exiting the hazard area and the entry control person will note their exit time and return the RED TAGS to each respective firefighter.

Douro-Dummer Fire Services Policy

Policy: 2.05

Date: April 2026

Revised Date:

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7. Exiting firefighters will follow decontamination procedures and then return to Incident Command for re-hab or reassignment.

Reference Policy:

1.04 PPE Decontamination On Scene and Post Incident.

Reference Best Practice:

12.05 Accountability

Douro-Dummer Fire Services Policy

Policy: 2.06

Date: April 2026

Revised Date:

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Section: Operations

Subject: Emergency Evacuation

Purpose: To establish policy on when & how to conduct an Emergency Evacuation

Scope: This Policy will be followed by all personnel.

Policy:

It is recognized that some structures may become unstable due to a variety of structural pressures such as fires, floods, snow load, damage to support components, etc. These conditions may result in quick evacuation to ensure safety of those teams in the hot zone.

Should an Incident Commander, or other fire department personnel observe the need for an immediate evacuation, they should communicate with incident command who will then initiate the evacuation of those directly in the area without delay.

Evacuation:

If a structure requires evacuation of department personnel, Incident Command will transmit:

“Emergency Traffic, Emergency Traffic, Evacuate, Evacuate”.

This radio transmission will be followed by groups of **three blasts** on apparatus air horns. **This process is repeated until all personnel are deemed clear of danger.**

A Personal Accountability Report (**PAR**) shall immediately follow all activations of the Emergency Evacuation Notification. Check in with Entry and Accountability for tag collection and task assignment.

Douro-Dummer Fire Services Policy

Policy: 2.07

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Operations

Subject: Rapid Intervention Teams (RIT)

Purpose: To establish policy for the assembling of Rapid Intervention Teams at emergency scenes in order to facilitate firefighter rescue.

Scope: This Policy will be followed by all personnel.

Policy:

1. A Rapid Intervention Teams (RIT) is the rescue of trapped or lost firefighters with low air emergencies, loss of communications, medical emergencies or life safety equipment failure at emergency scenes. A RIT shall be assembled at any incident where there are personnel who have entered the Hot Zone.
2. A Rapid Intervention Team will initially consist of a minimum of two personnel who are fully prepared with the proper protective equipment that is required for the situation ie. Ice Water rescue, fire, etc. RIT personnel shall be equipped with a portable radio and will assemble any specialized equipment which may be required to support a rescue.
3. The RIT will be established before entry to the hazard area, unless an immediate rescue is required. Should this be necessary, it shall be reported to the Chief & Deputy Chief following the incident. In this case, RIT shall be established at the earliest possible time.
4. Once the RIT is deployed, a second RIT shall be established.

Douro-Dummer Fire Department Policy

Policy: 2.11

Date: April 2026

Revised Date:

Page 1 of 2

Section: Operations

Subject: Mayday

Purpose: To establish a policy in the event of a firefighter in a high risk environment that requires immediate support.

Scope: This policy applies to all firefighters

Policy:

DDFS firefighters, automatic or mutual aid partners may encounter situations where they find themselves or members of their team in emergency situations and are required to transmit a "**Mayday**"

A Mayday shall be initiated when:

- they become lost or unaccounted for
- trapped, pinned or stuck and not able to extricate self.
- low on air
- life safety equipment failure.
- Fallen through a roof.
- Caught in a back draft or flashover.
- Lose contact with partner, hose line or lifeline and do not know direction to exit.
- Primary and secondary exit blocked by fire or collapse.
- They cannot find exit door or window.
- Injured or other life threatening situations

Upon receipt of a Mayday call, Incident Command will:

- Request radio silence.
- Move fireground operations to another radio TAC channel.
- If possible, assign another officer/senior firefighter to take command of the fire ground operations while dealing with the mayday situation.
- Deploy RIT
- Set up the next RIT.
- Initiate RIT procedures (see RIT guideline).
- Call for a Personnel Accountability Report (PAR).
- Call for additional resources as necessary
- Update on Scene EMS or request EMS if not already on scene

The Deputy Chief shall be notified anytime a Mayday is initiated

Douro-Dummer Fire Department Policy

Policy: 2.11

Date: April 2026

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Reference Policy:

2.07 RIT

Reference Best Practice:

6.09 Mayday

Douro-Dummer Fire Services Policy

Policy: 2.13

Date: April 2026

Revised Date:

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Section: Operations

Subject: Exposure Reporting

Purpose: Firefighting can expose DDFS personnel to various hazards found at emergency scenes. This policy is to provide guidance to DDFS personnel in the event they have been exposed to chemicals, smoke, toxins, communicable diseases, injuries, and traumatic incidents.

Scope: This policy is to be followed by all personnel that may have had an exposure event

Policy:

Carcinogens:

It has been identified that firefighters have a higher risk of cancer because of the hazards they are exposed to while performing their job. Minimizing exposure to carcinogens through proper protective equipment, decontamination procedures, decontamination equipment, education and ventilation systems is crucial and when there has been an exposure whether it is confirmed or suspected. Early reporting is important.

Infectious & Blood Borne Disease

Response to medical or accident events may create risks of exposure to infectious disease or blood borne disease in a variety of ways.

In the event of a DDFS firefighter who may have been exposed to a medical related exposure, they will contact the Designated Officer (Deputy Chief) to report the exposure so supports can be initiated.

Information for any exposure should include:

1-the type of incident and the potential exposure (needle stick, blood, saliva, smoke, etc)

2-personal protective equipment worn or used

3-hazardous agent(s) potentially exposed to.

4-Date and time of exposure, and any other details that the firefighter can provide.

Reference Documents:

WSIB **Workers Exposure Incident Form** (form 3958A).

WSIB Operational Policy Doc # 23-02-01 Presumptive legislation.

PRHC Designated Officer Program. [CD-Reporting-Form-fillable.pdf](#)

Douro-Dummer Fire Services Policy

Policy: 2.14

Date: April 2026

Revised Date:

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Section: Operations

Subject: Vehicle & Equipment Certifications

Purpose: To establish a policy to ensure that vehicles are inspected and repaired in accordance with the Ministry of Transport regulations.

Scope: It is the responsibility of the fire administration team to ensure that this policy is followed to ensure safe and reliable fire apparatus is available when called upon.

Policy:

1. All vehicles which require annual safety inspections under the Ministry of Transport regulations shall be inspected by qualified technicians.
2. Vehicles which are equipped with pumps shall have the pump tested annually to ensure that it meets Underwriters Laboratory Canada flow and pressure requirements. This test shall be performed by a qualified third-party technician. Records of the results of this testing shall be kept as part of the vehicle history records
3. Equipment requiring third party testing, should be regularly scheduled to ensure equipment is safe and ready at all times

Douro-Dummer Fire Services Policy

Policy: 2.15

Date: April 2026

Revised Date:

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Section: Operations

Subject: Out of Service Tags

Purpose: To establish procedures to mark defective equipment.

Scope: This policy will be followed by all personnel

Procedure:

1. All defective equipment shall be tagged with the red out of service tags. The date, station number, firefighter name and a brief description of what is defective should be written on the tag.
2. Equipment defects that take them out of service should be removed from the apparatus if possible and located in an easily visible location without affecting travel paths.
3. Vehicle defects shall follow the MTO inspection book, and kept in service when allowable, and taken out of service when required. (minor defect vs major defect)
4. Out of service apparatus will have an **out-of-service tag** put on the steering wheel.
5. Officers of the affected station shall be notified of the defective equipment.
6. Officers shall notify Chief and Deputy Chief of out-of-service vehicles and/or equipment. A message should be sent out on the Who's Responding app to the members of the affected hall.

Douro-Dummer Fire Services Policy

Policy: 2.16

Date: April 2026

Revised Date:

Page: 1 of 3

Section: Operations

Subject: Fuel Policy Procedure

Purpose: To provide direction when dispensing, transporting and reporting of spills at the fuel yards where fuel is stored and dispensed

Scope: This policy is for all fire personnel.

Policy: Fuel Handling

Dispensing site Addresses: Warsaw Depot: 1422 County Road 4
Ptbo. County Douro Depot: 713 County Rd. 4

Safe Operating Procedures

- Turn off ignition / main disconnect switch before fueling
- No smoking, open flames, cell phone usage or other sources of ignition within 3 meters of fuel pump, fuel tank or fuel island
- Observe location and instruction for fire extinguishers and emergency shut-off switches
- Note the location of the posted emergency telephone numbers at the site
- Do not block open the dispensing nozzle. If no "hold open" latch is provided, the nozzle must be held open by hand
- Driver must remain with the vehicle while fueling
- To avoid spillage, ease up on the nozzle trigger when filling the top portion of the tank

Transporting Containers:

- **Containers:** Use only approved, jerry cans/containers.
- **Positioning:** Always place containers upright and secured to prevent movement.
- **Location:** Store in the trunk or open truck bed. Avoid transporting gasoline in the passenger compartment.
- **Ventilation:** Ensure gasoline fumes do not accumulate. Keep containers out of direct sunlight.

Douro-Dummer Fire Services Policy

Policy: 2.16

Date: April 2026

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- **Handling:** Turn off engines and avoid smoking or open flames when filling containers.
- **Quantity Limits:** In accordance to Transport of Dangerous Goods, we are limited to transporting 100 liters of gasoline in portable containers in one apparatus.

Emergency Procedures – In Case of Any Spill

1. Shut off the flow of fuel
2. Press Emergency Shutoff button or Shut key lock at the cardlock panel to shut off power to the dispensers
3. Eliminate/keep away ignition sources (cigarettes, open flames, running engines, cell phone usage, etc.)
4. Do not start vehicle
5. Use emergency numbers posted at the site to report the emergency and get help
6. Use the absorbent material provided to contain a spill
7. Avoid contact with fuel and do not enter the area of the spill
8. Contact Douro-Dummer Public Works for Warsaw Fuel depot.
9. Contact Number posted at fuel pumps for Ptbo. County Douro fuel depot.
10. Notify Ministry of Environment, Spills Action Centre 1-800-268-6060 (24 Hours) in accordance with the **Spill Notification Criteria** as described below:

Spill Notification Criteria:

- **100 Litres or more:** At sites **restricted** from public access (e.g., bulk facility, private commercial property, residential properties).
- **25 Litres or more:** At sites with **public access** (e.g., retail service station, marina).
- **Any amount:** If the spill enters a waterway, sewer, or causes an adverse effect (e.g., threatens public safety, damages the environment)
- **Source Water Protection Area (SWPA):** The two fill sites are not in a SWPA, but if a spill occurs in an SWPA area, follow procedure in B.P. 9.01

Douro-Dummer Fire Services Policy

Policy: 2.16

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Contacts:

Douro-Dummer Warsaw PW, Depot – 24 hour Emergency number for Douro-Dummer Public Works: (705) 926-0214

Peterborough County PW, Douro Depot: 435 county rd. 4 – contact is posted at the fuel pumps by key lock.

Emergency Services (Fire Department, Police and Ambulance): 9-1-1

Ministry of Environment, Spills Action Centre (24 Hours): 1-800-268-6060

Technical Standards & Safety Authority (TSSA): 1-416-325-2000
1-877-682-8772 Toll Free

Douro-Dummer Fire Services Policy

Policy. 3.00

Date: 21-Apr-26

Revised date:

Page: 1 of 2

Section Human Resources

Subject Certification

Purpose To meet compliance of O. Reg 343/22 Firefighter Certification

Scope The Firefighter Certification regulation was filed on April 14, 2022.
The regulation will come into force on July 1, 2022.

The regulation introduces mandatory minimum certification standards for firefighters that align with fire protection services being performed. This will help ensure that firefighters have consistent training according to the level of service set by a municipal council or territory without municipal organization, supporting firefighter and public safety. The regulation reflects feedback submitted related to exceptions, transition, and certification standards.

Best Practices

It is the goal of DDFS to have all members certified to the appropriate levels of service that match their job description. Legacy letters of compliance will be honored, and will be supported to obtain certification if they wish to do so.

As per the regulation, those members that received a letter of compliance through the Grandfathering process, are considered to be compliant for certification for the standards that were received

DDFS certification stream will be as follows for those applicable at the time that meets O.Reg. 343/22 and is in alignment with the level of service as approved in the Establishing and Regulating By-law

1. NFPA 1001 Firefighter II (this will include min. level for auto extrication)
2. NFPA 1021 Fire Officer I & II
3. NFPA 1002 Pump Ops Chapter 5
4. NFPA 10312 Fire Inspector I & II
5. NFPA 1033 Fire Investigator
6. NFPA 1035 Fire & Life Safety Educator I & II & PIO
7. NFPA 1041 Fire Instructor I & II
8. NFPA 1521 Incident Safety Officer

Douro-Dummer Fire Services Policy

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Date: 21-Apr-26

Revised date:

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9. NFPA 1006 – Surface and Ice Water

Additional
Information

Douro-Dummer Fire Services Policy

Policy: 3.02

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Human Resources

Subject: Chain of Command

Purpose: Chain of Command is the unbroken line of authority extending from the Fire Chief through a single subordinate at each level of command down to the level of execution. It is important to utilize the proper "chain of command" in dealing with any type of situation. Therefore, all fire personnel are directed to utilize the chain of command in all situations

Scope: This applies to all members, despite rank

Policy:

1. This policy is supported by the Establishing and Regulating by-law (E&R). The Fire Chief is the one person appointed by a by-law of the Council of the Corporation to act as Fire Chief for the Corporation and is ultimately responsible to Council as defined in the Fire Protection and Prevention Act, 1997. The Fire Chief is the head of the fire department and is ultimately responsible for proper administration and operation of the fire department, including the delivery of fire protection services. The Deputy Chief is also appointed by by-law; therefore, the Fire Chief may delegate a variety of roles and responsibilities to the Deputy Chief and may carry out the duties of the Fire Chief in the absence of the Fire Chief.
2. The hierarchy of the Chain of Command is outlined in the Fire Services Organizational Chart through the E&R by-law, but whatever the makeup of ranks, a typical arrangement is a Recruit although can be guided by a Firefighter, still reports to their Captain, a Firefighter would report to their Captain, the Captain to their District Chief, the District Chief to the Deputy Chief, and the Deputy Chief to the Fire Chief.
3. The Chain of Command of the Fire Department is the order of vested authority and responsibility by which the business of the Department shall be conducted. It serves the function of allowing information to flow in an orderly manner from volunteer to the Chief and to all steps between. The proper use of the Chain of Command depends upon each member working within their assigned responsibility.
4. The Chain of Command applies at all times, not just during an emergency.

Douro-Dummer Fire Services Policy

Policy: 3.04

Date: April 2026

Revised Date:

Page: 1 of 3

Section: Human Resources

Subject: Code of Conduct

Purpose: To foster a congenial workplace with positive morale, and to support a professional image to the public.

Scope: This applies to all members of Douro-Dummer Fire Services.

Policy:

All DDFS personnel shall conduct themselves in accordance with the Code of Conduct statements (below), while they are representing DDFS directly and in any situation where they know, or ought to know, that their conduct will reflect upon the department:

I understand that I have the responsibility to conduct myself in a manner that reflects ethical behavior and integrity; in so doing, I will foster a continuing positive public perception of the fire service and create an environment of support and professionalism within the department.

1. As a member of Douro-Dummer Fire Services (DDFS), I will abide by the following points that make up the Code of Conduct:
 - a) I understand that the fire service is a paramilitary organization, and the Chain of Command applies at all times.
 - b) I understand that I will be required to maintain the ability to fulfill my job description by satisfactorily completing and maintaining the required training, attendance, and response to incidents.
 - c) I will avoid behaviors that damage, or could damage the reputation of DDFS, including the morale and efficient operations of the Department.
 - d) I will avoid situations that would adversely affect the credibility or public perception of the fire service profession.
 - e) I accept responsibility for my actions, and for the consequences of my actions.
 - f) I will always be truthful and honest and report any instances of dishonest behaviors or comments that may compromise the integrity of the fire service.
 - g) I will conduct my personal affairs in a manner that does not bring discredit to my organization.

Douro-Dummer Fire Services Policy

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- h) I will refrain from direct involvement in local government political campaign, including running for election.
 - a. If I wish to run as a member of Douro-Dummer Council, I will be put on leave from DDFS, and be considered Off, not accumulating years of service as a firefighter. This will occur during the campaign timeline. If I am successful in the political campaign, then I will no longer be a member of DDFS. If I am unsuccessful, then I will be taken off leave from DDFS.
 - b. I may participate in provincial or federal campaigns as long as this involvement does not affect objectivity or create a conflict with DDFS.
- i) I will be respectful and conscious of each member's safety and welfare and ensure my actions do not jeopardize any other member of the department.
- j) I recognize that I serve in a position of public trust that requires stewardship in the honest and efficient use of publicly owned resources, including uniforms, facilities, vehicles, and equipment; I will conduct myself in a way that protects these resources from misuse and/or theft.
- k) I will exercise professionalism, competence, respect and loyalty in the performance of my duties and use information, confidential or otherwise, gained by virtue of my position, only to benefit those I am entrusted to serve.
- l) I will not misuse my position within DDFS to seek or obtain influence for personal gain, preference, advantage, or advancement; nor will I propose or accept personal rewards, special privileges, benefits, honors, or gifts that may create a conflict of interest, or the appearance thereof.
- m) I will not participate in any fire department activities while under the influence of alcohol, drugs, or other altering substances; or in any condition where I may be impaired (such as excessive fatigue). Zero tolerance of such when operating a fire apparatus as per the HTA.
- n) I will not discriminate based on race, religion, colour, creed, age, marital status, national origin, ancestry, gender, sexual preference, medical condition or person with a disability.
- o) I will be courteous, considerate and civil to all persons during the performance of my duties.
- p) I will exercise the utmost patience and discretion even under the most trying of circumstances.
- q) I will not harass, intimidate or threaten fellow members of the service or the public, and I will stop or report the actions of other firefighters who engage in such behaviors.
- r) I will act as a team member and respect my fellow fire fighters.

Douro-Dummer Fire Services Policy

Policy: 3.04

Date: April 2026

Revised Date:

Page: 3 of 3

- s) I will responsibly use social networking, electronic communications, or other media technology opportunities in a manner that does not discredit, dishonor or embarrass my organization, the fire service and the public. I also understand that failure to resolve or report inappropriate use of this media equates to condoning this behavior.
 - t) I will not share any information or images in any capacity, including on social media platforms, that may compromise confidentiality (see 2.)
2. Confidentiality is of utmost importance, as a member of DDFS I agree to the following requirements:
- a) Any information, recorded or not, received or acquired in connection with my duties is considered confidential.
 - b) I will not make public statements to the media, explicitly or implicitly, on behalf of DDFS, unless authorized to do so by the Fire Chief.
 - c) I will not make any social media posts regarding DDFS activities on any platform at any time, unless approved by the Fire Chief.
3. Acknowledgement and Agreement

I acknowledge and understand DDFS's Code of Conduct. Furthermore, agreeing to adhere to this Policy and ensuring to follow these guiding principles. I understand that if I violate the principles outlined in the Policy, I may face disciplinary action, up to and including termination.

I also understand that all other approved DDFS policies will be followed, and disciplinary actions as per our disciplinary policy will be upheld. Best Practices that are not being upheld will first result in more training being required, then may follow disciplinary policy.

Douro-Dummer Fire Services Policy

Policy: 3.13

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Human Resources

Subject: Social Media & Pictures

Purpose: To Ensure Privacy is maintained

Scope: This Policy applies to firefighters and officers

Policy:

Personal cameras or cell phones are not permitted to be used at any emergency scene we are dispatched to, unless approved. One exception is for fire related calls to capture the beginning or growth of a fire to help with cause and origin, these pictures must be submitted and not be disclosed to anyone else. Fire Apparatus with cameras or tablets is encouraged to take pictures/video upon arrival without hindering an effective response. Pictures/video at training is preferred to be taken by approved personnel, but may be taken for personal professional growth for your own use only. Training pictures/videos that want to be shared through any means must be submitted and approved. Pictures/video during public events are only to be done by approved personnel.

Responsible use of social networking, electronic communications, or other media technology must be conducted in a manner that does not discredit, embarrass, dishonor, and/or position our organization in a potential legal or liability situation.

Douro-Dummer Fire Services Policy

Policy: 4.00

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Human Resources

Subject: Approved Level of Service

Purpose: To provide a policy on the level of service that the fire department performs based on the approval of The Township of Douro-Dummer Council

Scope: This policy shall be followed by all personnel

Policy:

There are many reasons someone may call 911, and the Council has set the expected level of service as described in the Establishing and Regulating By-law, which may change from time to time as approved by the Council of Douro-Dummer. All firefighters need to fully understand the expectations and limitations of the Douro-Dummer Fire Service as described in the E&R by-law, attached as 4.00a.

Levels of service that are outside the parameters of the E&R By-law shall not be performed as it would exceed the capabilities, training and equipment of the local fire department and create undue risk that may result in injury or death for the public or firefighters.

Douro-Dummer Fire Services Policy

Policy: 3.07

Date: April 2026

Revised Date:

Page: 1 of 1

Section: Human Resources

Subject: Accident Reporting

Purpose: Reporting, investigating, and managing all accidents, injuries involving DDFS personnel.

Scope: Applies to all DDFS personnel

Policy:

The following process is to be followed when any DDFS member is involved in an accident involving any apparatus or equipment.

- All accidents must be reported **as soon as possible**
- Notification of incident to chief or designate
- Request chief or designate to attend scene (if required).
- WSIB documentation (if required)
- Ministry of labour notification (as required per the OH&S Act)
- Request police, injuries, property damage or where damage exceeds a combined value of \$5,000.00 damage
- Request ambulance if required
- Take photos of accident scene
- Is there is damage to highway property (poles, guard rails, etc.)
- Personal Incident Report (PIR) filled out and submitted
- Date, time and location of the incident
- Insured name, address and contact info
- Description of incident
- Identity and contact info for all persons involved, including witnesses
- Description of damages and/or injuries
- Type of loss
- OPP occurrence number
- Insurance policy information
- Details and supporting documentation pertaining to the specific type of loss, like vehicle information, circumstances surrounding accident/illness.

Recommendation:

That the report Recreation Facilities-2026-03, dated April 21, 2026, regarding the Shell and Tube Chiller Replacement be received and that Council approve the replacement of the existing shell and tube refrigeration chiller at a cost of \$185,000.00 plus taxes to be completed by CIMCO in conjunction with the current arena ice surface floor replacement project; and

That funding for the project be approved from the Township's Capital Reserve.

Overview:

The Township is currently undertaking an ice surface floor replacement project at the Douro Community Centre with initial estimates brought to Council of \$2,400,000.00 with in-floor heating and \$2,153,000.00 without in-floor heating.

The current project sits at \$1,987,750.00 with the addition of new LED lighting over the ice surface. The addition of the Shell and Tube Chiller of \$185,000.00 would bring the total project cost to \$2,172,750.00. That is an additional \$19,750.00 from initial estimates for the floor only options.

As part of the original project planning and grant application, replacement of the shell and tube refrigeration chiller and conversion from Calcium Chloride Brine to Ethylene Glycol was included as part of the overall modernization of the refrigeration system.

During final project tender review, the chiller replacement component was removed from the scope due to overall project cost constraints. As a result, the project proceeded with floor replacement while retaining the existing chiller, with the expectation of maximizing its remaining service life to approximately 2032, as identified in the Township's energy feasibility study and asset management replacement plan.

Given the age of the existing chiller and the original intent to convert to glycol, staff requested CIMCO Refrigeration complete an internal camera inspection on Wednesday April 8th, 2026, to assess the feasibility of converting the system using the existing equipment. Staff sought to mitigate the risk of a premature chiller failure similar to that experienced at the Warsaw Community Centre, where failure occurred at year 12 of service in 2021.

The internal camera scope conducted by CIMCO identified significant concerns with the existing shell and tube chiller, including:

- Multiple plugged circuits within the brine tube bundle
- Restricted flow through tubes due to sludge buildup
- Evidence of internal corrosion within the tubes
- Overall poor internal condition of the chiller

The existing chiller was manufactured in 2007, making it approximately 19 years old. TSSA (Technical Standards & Safety Authority) guidance indicates a typical service life of approximately 20 years for this type of equipment and Township's insurer requires replacement at 25 years.

Current operational risks include:

- increased risk of unplanned equipment failure
- deterioration in ice quality and reliability
- potential loss of ice and temporary arena closure
- disruption to user groups, rentals, and programming
- increased maintenance and emergency repair costs
- reduced energy efficiency and higher operating costs
- risk of emergency replacement at premium cost
- negative impact on asset management and capital planning
- reputational risk arising from service interruptions

CIMCO further advised that attempting to flush the existing chiller to convert to glycol carries risk, as residual calcium chloride may react with glycol and form chromium hydroxide sludge, which could negatively impact system performance and reliability.

Based on these findings, CIMCO provided two primary options:

Option 1 — Maintain Existing Chiller and Continue with Brine

- Attempt to flush the existing chiller and pump
- Remove glycol conversion from project scope
- Replace with new calcium chloride brine charge
- Continue operation using aging chiller

Considerations:

- Flushing has no guarantee of success
- Additional costs for flushing procedures
- Continued reliance on equipment nearing end-of-life
- Annual brine treatment required (~\$2,000 per year)
- Inevitable need for chiller replacement in near future

Arena floors typically last approximately 40 years, while shell and tube chillers typically last approximately 20 - 25 years, meaning two chillers will be required over the life of the new floor.

Option 2 — Replace Chiller and Convert to Glycol

- Replace existing shell and tube chiller
- Proceed with glycol conversion as originally planned
- Align chiller lifecycle with new ice floor

Benefits:

- Reduced risk of equipment failure
- Elimination of annual brine treatment costs (~\$2,000 annually)
- Estimated \$40,000 savings over 20 years
- Estimated \$80,000 savings over 40-year floor lifecycle
- Improved system reliability
- Avoid disruption to newly installed floor in future

CIMCO provided budget pricing of \$185,000 plus applicable taxes for the chiller replacement, including removal, installation, piping modifications, insulation, and commissioning.

CIMCO also noted this is currently considered an emergency chiller replacement, with a unit available on a first-come, first-served basis. If approved, the estimated timeline includes:

- Approximately 6 weeks engineering and processing
- Approximately 4 weeks installation
- Estimated completion July–August timeframe
- System required operational for floor cure and pull-down process

If the new chiller is required to be built it turns into a 25-week timeline.

As part of the overall project, Gerr Construction was awarded the ice surface floor replacement contract, which included pre-approved cash allowances for refrigeration work to be completed by CIMCO Refrigeration. The refrigeration system components are interconnected and operate using the same fluid system, making compatibility, commissioning, and warranty coverage critical to overall system performance. Issuing a separate tender for the chiller replacement would introduce potential for competing warranties, contractual complications, and responsibility gaps between contractors, while also delaying project timelines and potentially impacting the required schedule for floor curing and system commissioning.

In accordance with the Township's Procurement Policy — Exceptions to Methods of Acquisition, staff recommend sole sourcing this work to CIMCO Refrigeration under the

provisions allowing non-competitive procurement “where compatibility with an existing product, facility or service is required”, where “components or replacement parts for which there is no substitute”, and where “work is required at a location where a contractor has already been secured through a tender process and it is considered beneficial and cost effective to extend the work”. Given that Gerr Construction has already been awarded the primary project, and CIMCO Refrigeration was identified within the original tender as the refrigeration subcontractor, staff believe sole sourcing this work represents the most cost-effective, low-risk, and operationally sound approach.

Conclusion:

Replacement of the shell and tube chiller was originally included in the grant application and overall project planning. Due to competing budget priorities, this component was deferred with the expectation that the existing component could continue operating to its anticipated end-of-life.

However, recent inspection findings indicate the existing chiller is nearing end-of-life and presents significant operational risks.

With the ice surface floor currently being replaced, this remains the most efficient and cost-effective time to complete the chiller replacement. Proceeding now would align lifecycle infrastructure investments, reduce long-term operational costs, and minimize risk to newly installed infrastructure.

Staff recommend Council approve replacement of the chiller at this time.

Financial Impact:

\$185,000.00 plus applicable taxes

Additional Financial Considerations:

- Annual brine treatment savings (~\$2,000 per year)
- Estimated \$40,000 savings over 20-year chiller lifecycle
- Estimated \$80,000 savings over 40-year floor lifecycle
- Reduced risk of emergency replacement costs
- Potential loss of ice season

Staff recommend funding the chiller replacement from the Township’s Capital Reserve.

Township of Douro-Dummer Strategic Plan 2023-2027



Service Modernization and Innovation

Modernizing, refining and innovating services for residents is essential to effectively meet the needs of our community, enhance our operational efficiency, and ensure we remain adaptable in a rapidly changing world.



Business Attraction, Expansion, and Retention

Business attraction, expansion, and retention is vital for the economic health and sustainability of our Township, such as job creation, tax revenue, investing in innovation, maintaining our quality of life, and supporting community stability.



Infrastructure Renewal

Infrastructure renewal is a critical investment for our Township as it will ensure our adherence to health and safety, economic development, investment attraction, environmental sustainability, quality of life, public confidence, and regional competitiveness.

Report Approval Details

Document Title:	Shell and Tube Chiller Replacement - Recreation Facilities-2026-03.docx
Attachments:	- Douro - Shell and Tube Chiller Replacement.pdf
Final Approval Date:	Apr 15, 2026

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

INNOVATIVE THERMAL SOLUTIONS
BUILT FOR YOU

**Proposal for Douro Community Centre &
Arena**

Douro - S&T Chiller Replacement

MW250199

Feb 9 2026

Created by:

Mike Walker, mwalker@toromont.com

Prepared for:

Mike Mood, mikem@dourodummer.on.ca
Douro Community Centre & Arena

CIMCO Refrigeration, a division of Toromont Industries Ltd. ("CIMCO Refrigeration"), is pleased to provide pricing for a Douro - S&T Chiller Replacement at the Douro Community Centre & Arena.

Prior to independently flushing the chiller to confirm it will accept a new glycol charge we visually inspected the chillers internal condition. It was found to be very dirty and not a great fit for glycol. If all the residual brine cannot be removed from the equipment/system using a "flushing" procedure there may be a chance the new glycol could react with the residual calcium chloride and form what is called "Chromium Hydroxide Sludge".

In addition to the possible risk above consideration should also be taken of the chillers current age. Manufactured in 2007 this would make the chiller 19 years old in 2026. A standard chiller life expectancy is 20 years as per TSSA. This it may be a good time to replace the chiller if the end result is to convert the new floor and headers to glycol.

Flushing is still an option as identified in the tender. This process would be an additional cost. Based on the current condition of the chiller and factoring in its age, the flushing process could be costly and there is still no guarantee after the flushing the chiller will meet the condition to accept a glycol charge.

The quote and scope below have changed as a result of current site conditions.

- Additional labour will be required as we will have a different procedure to evacuate the ammonia from the system now that the system is inoperable as a result of the floor project.
- Additional labour and material will be required after getting the ammonia out of the system. There will be pipe painting and labelling of the discharge line.

Chiller Availability:

- This situation would now be considered an **emergency chiller replacement**. Exact chiller selection may not be available.
- Engineering will review the available chillers in stock and select the best suited chiller to meet the design conditions on site.
- The chiller we have available at this time is larger than what was quoted below. This chiller is currently in stock at CIMCO.
- Due to the increase in size of chiller the cost to insulate this chiller also increases.

Customer Approval:

- If the direction of the Township is to replace the chiller then time is of the essence.
- The chiller in stock is a "first come, first serve" meaning whoever attaches a PO to it first gets it. There are no holds unfortunately.
- If approved and PO is provided the chiller will be secured and held while the project is processed and moved to Engineering.

Project Processing and Installation:

- The internal process could be approximately 6 weeks (+) before the chiller could arrive on site based on current Engineering work loads. Put this delivery somewhere in the month of June.
- Installation could be up to 4 weeks to complete. Putting this completion date around July/August.

Consideration must be given to the floor cure time and pull down procedure. We will need a functioning system for the pull down included in the tender.

Note from original scope submission:

It is the intent of the township to switch secondary cooling solutions from brine to glycol. If this is the ultimate desire, then replacement of this chiller will be the smart choice. Trying to flush the chiller of all brine residue is difficult and costly. By approving the chiller replacement now, you will most likely avoid project extra's for additional flushing fluid to clean the chiller.

Scope of Work

- S&T Chiller Replacement
- Pump down refrigeration system (the system is now isolated with the ammonia stored inside)
 - to remove the ammonia from the system at this point we will need to heat the liquid ammonia up inside the piping to be able to evacuate it safely. This process is now more labour intensive.
- **Brine has already been removed from the floor, headers and refrigeration system.**
- Isolate existing chiller
- Cut free and remove from engine room
- Dispose of chiller and piping
- Deliver, offload and place new S&T chiller into engine room on steel support legs (reuse existing concrete supports if possible)
- Chiller will be insulated with 2" thick insulation.
- Re-pipe brine supply and return to new chiller
 - Brine pump to be re-used and reconnected to new chiller
 - Brine pump will remain in its existing position
 - Replace NH3 bucket and bucket valve assembly with new and reconnected to new chiller
 - New NH3 bucket assembly and valves will be installed in its current location
- Install new high level float switch and piping
- Install new independent relief line, diffuser vented outside and relief valves as per code
- Insulate all new piping installed as required
- Repaint piping affected by chiller replacement
- Repaint piping affected by ammonia pump out procedure
- Labour to complete scope above

- **Labour to install new glycol charge is carried separately in the floor project**
- **Glycol charge is carried separately in the floor project**

Pricing

CIMCO Price: \$185,000.00 CAD (All Taxes Extra)

Prices are valid for 30 days from the date of quotation.

Taxes not included.

Standard Terms & Conditions apply.

Exclusions

- All work required outside of CIMCO regular working hours requested or required by owner.
- **Disposal of brine charge to be carried in separate floor project.**
- **New glycol charge to be carried in separate floor project.**
- Cutting/patching/sealing within building to allow for the passage of piping and conduit.
- Modification or installation of any required bases, pads, stands, seismic or other required supports for equipment
- Disposal or abatement of existing refrigerant, water, asbestos, equipment, material, or any other substance not mentioned including any environmental testing or verification that may be required to complete scope of work.
- Any material or work not clearly stated within the scope of work will be the responsibility of the owner.

Agreement

The information contained in this proposal constitutes the terms between CIMCO Refrigeration, a division of Toromont Industries and the client Douro Community Centre & Arena.

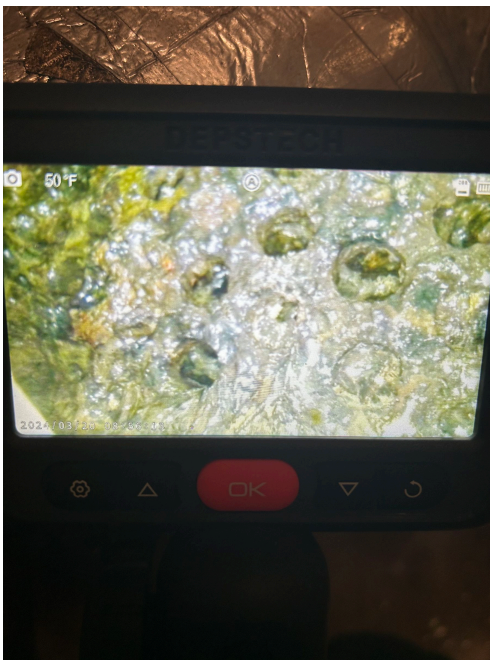
All prices agreed upon will be honored by both parties. Continued services after that time will require a new agreement.

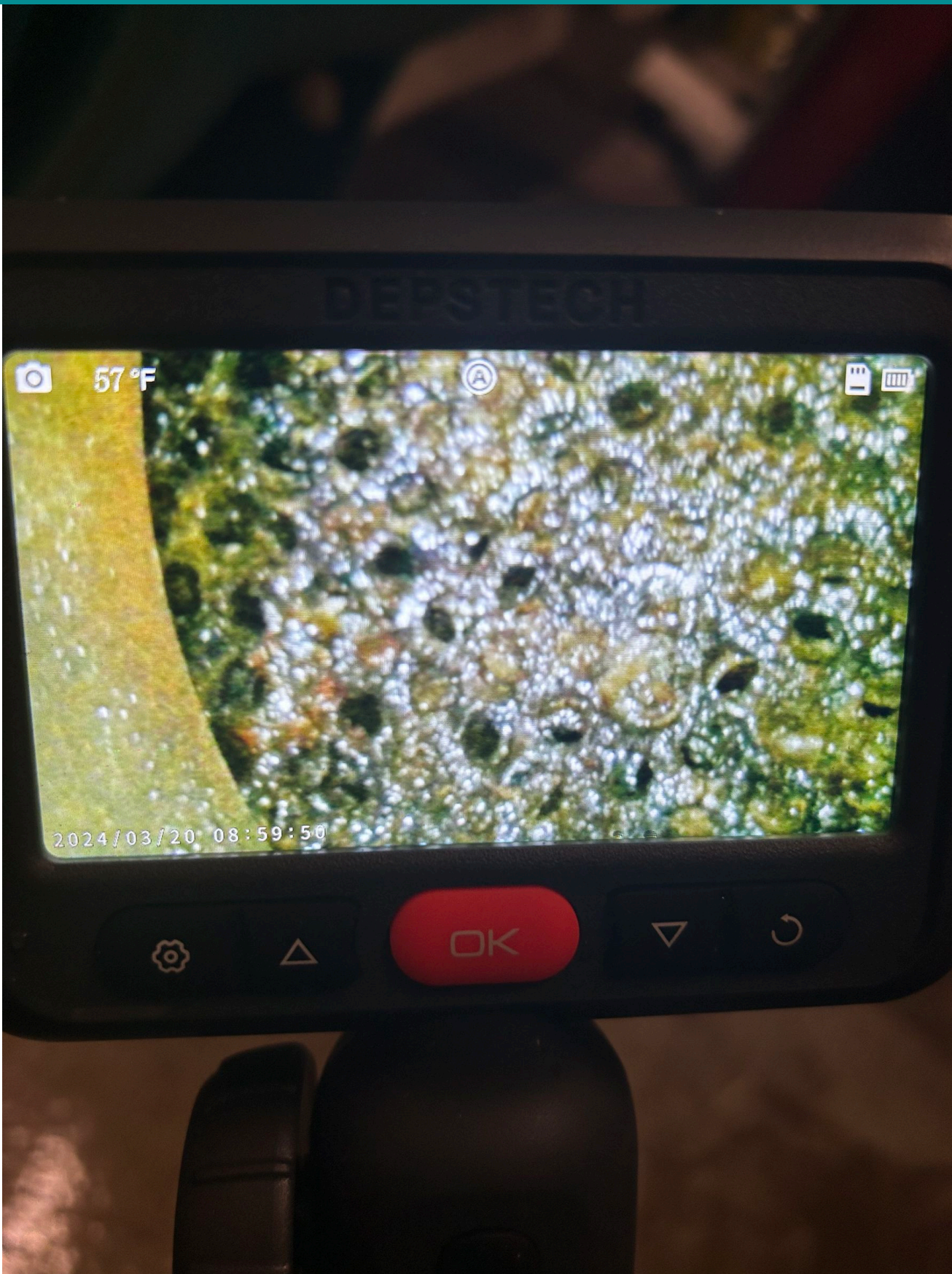
Authorized Signature: The undersigned agrees to the terms of this contract on behalf of the organization or business

Signature of Client: _____ Date: _____

Purchase Order:

Below are internal camera scope pictures of the tubes that the existing brine flows through. You can see that most of the tubes are plugs with brine sludge and there are indications of internal tube corrosion (orange colouration). This would indicate the existing chille has reached OR or is near it's end of life.





TERMS AND CONDITIONS

SUBJECT TO WRITTEN APPROVAL BY A DULY AUTHORISED OFFICER OF CIMCO REFRIGERATION, A DIVISION OF TOROMONT INDUSTRIES LTD. (THE "VENDOR"), THIS QUOTATION, IF ACCEPTED IN WRITING BY THE PURCHASER, SHALL CONSTITUTE A BINDING CONDITIONAL CONTRACT OF SALE AS OF THE DATE OF THE PURCHASER'S ACCEPTANCE OR AS OF THE DATE OF THE VENDOR'S APPROVAL, WHICHEVER IS LATER. THIS QUOTATION IS INVALID IF NOT ACCEPTED BY THE PURCHASER WITHIN TEN DAYS OF THE DATE OF QUOTATION.

1. TITLE

(a) The title and ownership to and in the materials, equipment and other goods sold here under (the "goods") shall remain with the Vendor until payment in full of the Contract Price and any additional amounts payable to the Vendor pursuant to sections 2 and 10 of these Terms and Conditions. The Vendor hereby reserves, and the Purchaser hereby grants to the Vendor, a security interest in and to the goods, and the proceeds thereof, to secure the said payment and all of the other obligations of the Purchaser. At the option of the Vendor, the Purchaser will join with the Vendor in executing, in a form satisfactory to the Vendor, one or more financing statements or similar instruments pursuant to any applicable personal property security legislation. The Purchaser hereby authorizes the Vendor to file one or more such statements or instruments signed by the Vendor alone as the secured party. If the goods are to become affixed to real property, the Purchaser represents that a true and correct description of such real property and that the name of the registered owner thereof are as indicated on Page 1 of this Quotation/Contract.

(b) In the event of default by the Purchaser under the terms of payment of this contract, the full amount of the Contract Price, less any payments previously made, shall become due and payable, and the Vendor or its agent shall have the right to enter upon the premises and remove the goods, and to dispose of them as the Vendor may determine. If the proceeds from such disposal, less any related expenses, including but not limited to costs of seizure, removal and sale, and legal costs (including reasonable attorneys' fees and expenses) connected therewith (the "net proceeds"), are not sufficient to cover the amount in default, the Purchaser shall be liable to the Vendor for such deficiency. If the net proceeds exceed the amount in default such excess shall be returned to the Purchaser, and the Vendor shall not be liable further whether in respect of completion, performance, warranty or other contract terms.

(c) The Purchaser hereby waives all rights and claims against the Vendor in the event that the circumstances provided for in section 1 (b) arise, except for the express right of recovery of excess net proceeds as provided in that section.

(d) The Purchaser hereby waives the provisions of any Conditional Sales Act or other applicable legislation which limits the Vendor's rights to seize the security provided for herein, and to sue for any deficiency. The Purchaser expressly confers upon the Vendor the rights to seize and sell the goods and to recover from the Purchaser, by action on the covenant, the principal, interest and other moneys from time to time owing under this contract.

(e) Until the Contract Price has been paid in full, the Purchaser will not sell or agree to sell, or mortgage, charge or dispose of, or intentionally injure the goods or remove them from the place of initial installation.

2. PRICE ADJUSTMENTS

(a) The Purchaser shall pay all taxes, duties, levies and other charges assessed against or in respect of the goods, except those taxes, duties, levies and other charges expressly included in the Contract Price.

(b) If any taxes, duties, levies, or other charges shown to be included in the Contract Price are increased subsequent to the Date of Quotation, and increase the Vendor's costs here under, such increase shall be paid by the Purchaser to the Vendor.

(c) The Contract Price quoted herein is based on prices, costs and conditions prevailing at the Date of Quotation. Unless otherwise specified, if the estimated delivery and / or installation date is more than six months from the date of the contract, and if prior to shipment or installation there is an increase in the Vendor's costs due to increases in labor rates, cost of materials, suppliers' prices, foreign exchange, storage charges, or freight rates, such increase shall be paid to the Vendor by the Purchaser.

(d) If delivery or installation is delayed by the Purchaser, or by anyone under the Purchaser's control, for more than two months after the time estimated, any increase in those categories of the Vendor's costs listed in section 2(c) shall be paid to the Vendor by the Purchaser.

(e) All payments by the Purchaser to the Vendor under section 2 shall be in addition to the Contract Price and shall be paid at the time the final payment under the contract is due.

3. TARIFFS

The Vendor and Purchaser acknowledge that at the time of execution of this Agreement, it is unknown whether prior estimates for performance of the work will be impacted by the enactment of additional tariffs, which materially differ from those existing at the time the original estimates were received.

Both Parties acknowledge that:

i. The Contract Price quoted is based on conditions prevailing at the date of execution of the agreement

ii. Vendor has not estimated any additional tariffs

iii. Vendor will use their best efforts to source equivalent or similar products from local suppliers or alternative sources where such goods are not subject to applicable tariffs, if such alternatives are available

iv. The Purchaser and Vendor agree to use their best efforts to mitigate any cost or schedule impacts arising out of the tariffs, and

v. Vendor will pass tariffs to the Purchaser should they become enacted and are unavoidable

Subject to these acknowledgements, if any tariffs are enacted subsequent to the date of execution of the Agreement and increase the Vendor's costs, any such cost increase will be absorbed by the Purchaser unless a prior written amendment to the Agreement is executed to address such costs. Purchaser shall indemnify and hold Vendor harmless from any liability and expense by reason of Purchaser's failure to pay such tariffs.

4. LIABILITY

The Vendor shall not be liable for any losses, injuries, expenses or damages, whether direct, indirect, special, incidental, consequential or punitive, arising out of the goods, or the installation, operation, or failure of operation of the goods or related systems even if caused by the Vendor's negligence.

5. DELIVERY AND INSTALLATION

Delivery and installation times and dates are approximate and are subject to extension for delays caused by fire, strike, lockout, labor dispute, civil or military authority, riot, embargo, car shortage, wrecks or delays in transportation, Acts of God, late delivery or non-delivery by the Vendor's suppliers, changes in the scope of the work as provided in section 9 of these Terms and Conditions, or other causes beyond the reasonable control of the Vendor, and the Vendor shall not be liable for any losses or damages resulting from any such causes. Acceptance of the work shall be a waiver by the Purchaser of all claims for damages for delay from any cause whatsoever.

6. RESPONSIBILITY AND INSURANCE

(a) In respect of goods sold F.O.B. point of origin, the Vendor shall deliver the goods in good condition to a common carrier or to the Purchaser at the Vendor's shipping point, and thereupon all risks of loss or damage thereto shall pass to the Purchaser.

(b) In respect of goods sold F.O.B. job site or sold with installation, all risks of loss or damage shall pass to the Purchaser upon receipt of the goods at the job site or at the Purchaser's designated delivery point.

(c) The Purchaser shall insure the goods against loss or damage from fire, theft, malicious damage or other causes as and from the time the Purchaser becomes responsible for the goods pursuant to sections 4(a) and 4(b) of these Terms and Conditions. The face value of the insurance policy shall be in an amount not less than the Contract Price. Any loss under such insurance policy shall be made payable to the Vendor as its interest may appear until the Contract Price shall be paid in full.

(d) Upon the request of the Vendor, the Purchaser shall provide an insurance certificate as evidence of the compliance with section 4(c) of these Terms and Conditions.

7. COST ESCALATION

Purchaser and Vendor acknowledge and agree that at the time of execution of this project agreement, it is unknown whether prior estimates for performance of the Work will be impacted by further development of the design, changed market conditions, availability of labor, equipment and/or materials or other conditions which materially differ from those existing at the time prior estimates were received. Vendor agrees to make diligent and best efforts to mitigate any cost or schedule impacts arising out of these changed conditions. However, subject to such mitigation obligations of the Vendor, Purchaser agrees that Vendor shall be entitled to an equitable adjustment of the Contract Sum and/or, if applicable, the Contract Time due to the following non exhaustive list of possible events or circumstances: (1) a subcontractor will not honor its prior estimate, (2) commodity price escalation and/or commodity delivery date impacts due to the length of time between a subcontractor providing its estimate and subcontract award, (3) general conditions cost impacts due to anticipated completion dates at the time of subcontractor's estimate differing from completion dates anticipated at time subcontract award,

(4) commodity price escalation and/or delivery date impacts due to subcontractor inability to obtain firm pricing or delivery date commitments from any supplier at or near time of subcontract award; (5) cost of on-site or off-site material storage capacity to enable early receipt of certain materials when early procurement of such materials can be achieved for avoidance of price escalation or to secure availability so that the project schedule can be maintained.

8. TERMS OF PAYMENT

(a) Unless otherwise specified in this Quotation/Contract and not including municipalities as specific payment terms will be negotiated with municipalities, payment shall be made by the Purchaser to the Vendor in respect of the Contract Price as follows:

(i) Goods sold without installation: 50% upon acceptance of this quotation by the Purchaser; an amount representing the value of each shipment, payable upon delivery; and the unpaid balance upon final shipment.

(ii) Goods sold with installation: 35% upon acceptance of this quotation by the Purchaser; an additional 25% upon written notification by the Vendor to the Purchaser that the goods are ready for shipment; an additional 30% immediately after installation but prior to the commencement of operation of the goods or related systems; and a final payment of 10% upon completion.

(b) Timely payment according to the terms of this Quotation/Contract is of the essence of the contract.

(c) Payment shall be made in the specified currency.

9. WARRANTY

UNLESS OTHERWISE SPECIFIED IN THIS QUOTATION/CONTRACT, THE VENDOR WARRANTS THE GOODS AND INSTALLATION SOLD HERE UNDER AGAINST ORIGINAL DEFECTS IN MANUFACTURE AND WORKMANSHIP BY EITHER A PERIOD OF EIGHTEEN MONTHS (18) AFTER THE DELIVERY OF EQUIPMENT OR TWELVE (12) MONTHS FROM COMPLETION AS DEFINED IN SECTION 9 OF THESE TERMS AND CONDITIONS. THE LENGTH OF WARRANTY WILL BE DETERMINED BY EQUIPMENT DELIVERY OR COMPLETION OF WORKMANSHIP BY WHICHEVER AGREEMENT EXPIRES FIRST. THIS WARRANTY IS IN LIEU OF ALL OTHER WARRANTIES, STATUTORY OR OTHERWISE, EXPRESS OR IMPLIED, INCLUDING FOR MERCHANT ABILITY OR FITNESS FOR A PARTICULAR PURPOSE. THE TERMS OF THE VENDOR'S WARRANTY ARE AS FOLLOWS:

(a) In respect of goods sold without installation, the Vendor's sole liability shall be to repair or replace, at the Vendor's option, F.O.B. point of manufacture, any defective goods or parts thereof.

(b) In respect of goods sold with installation, the Vendor's sole liability shall be to repair or replace, at the Vendor's option, any defective goods or parts thereof or any defective workmanship. The Vendor shall be responsible for all of its costs in connection therewith other than the out-of-pocket expenses incurred by the Vendor's employees and agents travelling from the Vendor's nearest place of business to the job site and charges for labor performed after normal working hours at the request of the Purchaser, which latter expenses and charges shall be for the account of the Purchaser.

(c) The Vendor warrants goods not of the Vendor's manufacture only to the extent to which the Vendor is able to enforce a claim for liability against the manufacturer thereof.

(d) The Purchaser shall promptly give written notice to the Vendor after the discovery of an apparent defect.

(e) As a condition precedent to any liability by the Vendor here under, the Purchaser shall use, operate and maintain the goods and related systems in a careful, prudent, and reasonable manner, and in conformity with the Vendor's and / or the manufacturers' instructions.

(f) the foregoing constitutes the purchaser's exclusive remedy and the vendor's sole liability arising out of the design, manufacture, sale, installation, or use of the goods.

(g) This warranty shall be void if the Purchaser is in default under the terms of payment of this contract.

10. CHANGE IN SCOPE OF WORK

If the Purchaser requests a change in the scope of the work under this Quotation/Contract, the Vendor will submit a Contract Revision to the Purchaser which shall set forth the proposed changes in the work, and if the proposed changes result in an addition to or a deduction from the Contract Price, the Contract Revision shall set forth the amount of such addition or deduction. A Contract Revision shall not be binding or enforceable unless accepted in writing by the Purchaser and approved in writing by a duly authorized officer of the Vendor. Upon such acceptance and approval, the Contract Revision shall become part of the contract and, except when in consistent therewith, shall be subject to all its provisions.

11. COMPLETION AND ACCEPTANCE OF WORK

(a) In respect of goods sold without installation, "Completion" shall be deemed to occur when risk of loss of the goods passes to the Purchaser in accordance with section 4 of these Terms and Conditions.

(b) In respect of goods sold with installation, and unless otherwise defined in this

Quotation/Contract, "Completion" shall be deemed to occur when any one of the following events takes place:

i. The Purchaser signs an acceptance certificate;

ii. The Vendor has installed and, where applicable, successfully tested the installation;

iii. The Purchaser commences regular use of the goods correlated systems;

iv. An independent expert, mutually acceptable to the Purchaser and the Vendor, certifies that the work has been completed.

(c) Nothing in subsections (a) or (b) shall relieve the Vendor from its obligation to honor the warranty provisions contained herein.

(d) The occurrence of any one of the events described in section 9(b)(i), (iii) and (iv) shall constitute acceptance of the work.

12. BONDS

Performance bonds and material and labor payment bonds will be provided by the Vendor upon request. Unless the Contract Price expressly includes the cost of such bonds, the Purchaser, in addition to the Contract Price, shall pay the cost of such bonds to the Vendor at the time of the receipt thereof by the Purchaser.

13. MISCELLANEOUS

(a) This Quotation and any resulting contract shall be governed, enforced and construed in accordance with the laws of the place of the Contract Work without regard to the rules governing conflicts of law.

(b) All rights and remedies of the Vendor under this contract and under applicable law shall be cumulative and may be exercised successively or concurrently, in any order, and on more than one occasion. The election by Vendor to exercise one remedy shall not preclude it from thereafter exercising one or more other remedies.

(c) The Purchaser agrees to pay, in addition to the other amounts payable to Vendor under the contract, all costs and expenses, including reasonable attorneys' fees, incurred by the Vendor in enforcing this contract, exercising its rights here under or collecting or attempting to collect all amounts due the Vendor here under following default by the Purchaser in the payment or performance of its obligations here under, including those incurred in connection with any bankruptcy, insolvency, liquidation, reorganization or similar proceeding involving the Purchaser.

(d) Any assignment or attempted assignment of this contract, in whole or in part, without the prior written consent of the Vendor shall be void. The Vendor may assign any of its rights, liabilities or obligations arising out of this contract without prior notice to the Purchaser and without the Purchaser's written consent except that the Vendor may not assign its warranty obligations without the Purchaser's written consent.

(e) If any provision of this contract is unenforceable, such unenforceability shall not affect the remaining terms, which shall be enforced, if the same can be done, without regard to the unenforceable provision.

(f) The headings to the paragraphs of this contract are provided for ease of reference only and shall not be construed to vary or limit the terms thereof.

THIS QUOTATION/CONTRACT CONTAINS THE COMPLETE AGREEMENT BETWEEN THE PURCHASER AND THE VENDOR, AND SUPERSEDES ALL PRIOR ORAL OR WRITTEN REPRESENTATIONS, PROMISES, AGREEMENTS OR UNDERSTANDINGS WITH RESPECT TO THE SUBJECT MATTER HEREOF. NO REPRESENTATION, PROMISE, AGREEMENT OR UNDERSTANDING ENTERED INTO OR MADE SUBSEQUENT TO THE DATE OF THE CONTRACT WHICH VARIES OR MODIFIES THE PROVISIONS OF THIS CONTRACT SHALL BE BINDING ON THE VENDOR UNLESS CONVEYED IN WRITING AND EXECUTED BY THE DULY AUTHORISED OFFICER OF THE VENDOR EXECUTING THIS QUOTATION/CONTRACT.

Report to Council

Re: Amendment to the Procurement Policy - Buy Ontario Treasurer-2026-11

From: Stacy Grenier

Date: April 21, 2026

Recommendation:

That the report Treasurer-2026-11, dated April 21, 2026 regarding amendments to the Township's Procurement Policy to address requirements under the *Buy Ontario Act (Public Sector Procurement), 2025* and the *Municipal Buy Ontario Procurement Directive*; be received;

And further that Council approve the proposed amendment Appendix No. 1 to the Township's Procurement Policy to incorporate Buy Ontario compliance requirements;

And further that Council authorize the CAO or designate to implement the associated administrative procedures, templates, supplier declaration forms, and internal guidance necessary to support implementation of the amended policy.

Overview

Purpose

The purpose of this report is to obtain Council approval for amendments to the Township's Procurement Policy to incorporate new provincial procurement requirements arising from the Buy Ontario Act (Public Sector Procurement), 2025 and the Municipal Buy Ontario Procurement Directive.

These changes are required to ensure the Township's Procurement Policy and practices remain aligned with current provincial direction and to provide staff with a clear framework for implementation.

Background

The Province of Ontario has introduced a new procurement framework requiring broader public sector organizations, including municipalities, to give priority to Ontario and Canadian goods and services in prescribed circumstances.

For municipalities, the implementation dates are April 13, 2026 for general Buy Ontario requirements, April 13, 2026 for fleet vehicle procurement requirements, and May 15, 2026 for capital infrastructure procurement requirements.

The Township's current Procurement Policy contains strong general provisions respecting fairness, transparency, competition, delegated authority, bid analysis, and reporting. However, it does not expressly address the new Buy Ontario framework.

As a result, amendments are required to ensure the Policy clearly reflects the Township's obligations and gives staff direction on how these requirements are to be considered in procurement planning, bid documents, evaluations, exemptions, and award recommendations.

Discussion / Analysis

The proposed amendments update the Procurement Policy to include references to the Buy Ontario Act (Public Sector Procurement), 2025 and the Municipal Buy Ontario Procurement Directive and the following items:

- new definitions related to Buy Ontario compliance
- a requirement to consider Ontario goods and services first, and Canadian goods and services second, where applicable
- application of Buy Ontario requirements to affected procurement methods
- a new section specifically addressing Buy Ontario obligations
- specific consideration for fleet vehicle procurement and capital infrastructure procurement
- documentation requirements where Buy Ontario applies
- supplier declaration and verification provisions
- exemption language for urgent and unforeseen or emergency procurements
- reporting requirements where non-preferred options or exemptions are relied upon
- authority for the CAO or designate to implement administrative procedures, templates, and forms to support compliance.

The Township's existing Policy provides a sound procurement framework, but the new provincial requirements create additional obligations that should be expressly reflected in the Policy.

The proposed amendments would also provide a stronger audit and governance basis for procurement decisions and reduces the risk of inconsistent application across departments.

Risk / Legal Considerations

Amending the Procurement Policy will reduce the Township's risk of non-compliance with provincial procurement requirements.

If the Policy is not updated, risks may include inconsistent procurement practices across departments, insufficient documentation for compliance or audit purposes, uncertainty in procurement decision-making, and increased exposure to procurement challenges or reputational concerns.

Communication / Implementation

If approved by Council, the following steps will occur immediately:

- adoption of the amendment
- circulation of internal direction to managers and staff involved in procurement

- update of procurement templates and related forms
- implementation of supplier declaration and file documentation requirements
- review of upcoming procurements for Buy Ontario applicability
- preparation of a consolidated Procurement Policy for internal use

Conclusion:

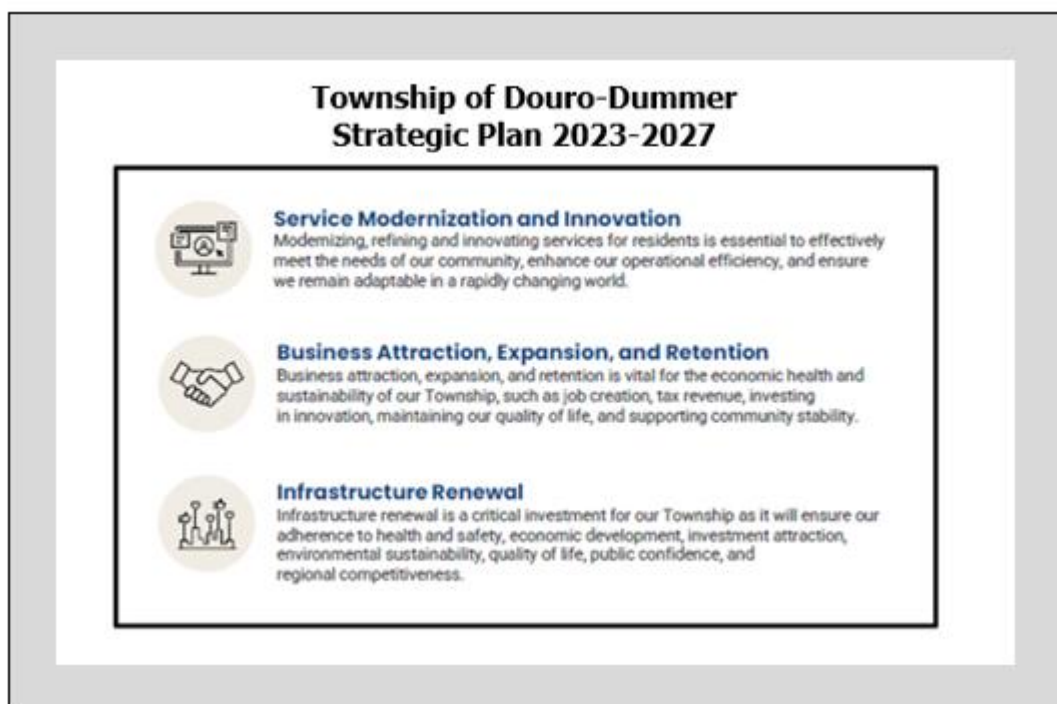
The Province's new Buy Ontario procurement framework requires municipalities to update procurement practices and provide clear policy direction for implementation.

The proposed amendments will ensure that the Township's Procurement Policy reflects current provincial requirements, supports compliant and consistent purchasing practices, and provides staff with the authority and direction needed to implement the changes effectively.

Council approval of the proposed amendment is therefore recommended.

Financial / Budget Implications

There is no direct budget request associated with the Policy amendment itself. However, implementation of Buy Ontario requirements may affect procurement planning, bid evaluation, timelines, and potentially pricing in some purchasing categories. These impacts will need to be considered on a case-by-case basis within departmental budgets and project approvals.



Report Approval Details

Document Title:	Amendment to the Procurement Policy - Buy Ontario - Treasurer-2026-11.docx
Attachments:	- F2 - Amendment - Appendix 1.docx
Final Approval Date:	Apr 15, 2026

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

Appendix No. 1 – Buy Ontario

Purchasing/Procurement Policy No. F-2

Approved by:

Approval Date: April 21, 2026

Revision Date:

Buy Ontario Compliance

1. Purpose

To amend the Township of Douro-Dummer Procurement Policy to incorporate requirements arising from the **Buy Ontario Act (Public Sector Procurement), 2025** and the **Municipal Buy Ontario Procurement Directive**, and to ensure that the Township’s purchasing procedures remain fair, transparent, competitive, and compliant with applicable Ontario legislation and directives.

2. Application

This amendment applies to all procurements of goods and services undertaken by the Corporation of the Township of Douro-Dummer, including procurements for programs, services, facilities, fleet, equipment, construction, and capital projects directly delivered by the Municipality, unless specifically exempted by legislation, directive, or this policy.

This amendment shall be read together with the Township’s Procurement Policy. Where there is a conflict, the stricter compliance requirement shall apply.

3. Definitions

Add the following definitions to **Section I – Definitions**:

49. Buy Ontario Requirements

means the procurement requirements established under the *Buy Ontario Act (Public Sector Procurement), 2025*, its regulations, and the *Municipal Buy Ontario Procurement Directive*, as amended from time to time.

50. Ontario Business

means a business that meets the requirements of Ontario origin, presence, or other criteria as may be defined by applicable legislation, regulation, directive, or Township procedure.

51. Canadian Business

means a business that meets the requirements of Canadian origin, presence, or other criteria as may be defined by applicable legislation, regulation, directive, or Township procedure.

52. Ontario Goods and Services

means goods and services that satisfy the applicable requirements for Ontario preference under the Buy Ontario legislative and directive framework.

53. Canadian Goods and Services

means goods and services that satisfy the applicable requirements for Canadian preference under the Buy Ontario legislative and directive framework.

54. Capital Infrastructure Procurement

means procurement related to construction, reconstruction, improvement, or major rehabilitation of municipal infrastructure, including related materials, equipment, and services, where such procurement falls within a category identified by applicable *Buy Ontario Requirements*.

55. Fleet Vehicle Procurement

means procurement related to light-duty, medium-duty, heavy-duty, or other municipal fleet vehicles where such procurement falls within a category identified by applicable *Buy Ontario Requirements*.

56. Exemption

means a procurement or class of procurement that is excluded from *Buy Ontario Requirements* by legislation, directive, regulation, or this policy.

57. Urgent and Unforeseen Procurement

means a procurement required to address an emergency or circumstance that is both urgent and unforeseen and for which normal competitive procedures or *Buy Ontario Requirements* cannot reasonably be followed.

4. References & Related Policies

Revise the **References & Related Policies** section to include:

- Buy Ontario Act (Public Sector Procurement), 2025
 - Municipal Buy Ontario Procurement Directive
 - Municipal Act, 2001
 - Accessibility for Ontarians with Disabilities Act, 2005
 - Ontarians with Disabilities Act, 2001
 - Occupational Health and Safety Act
 - Applicable trade agreement obligations
 - Township Purchasing Procedures
 - Township Emergency Management / Emergency Purchasing procedures
 - Township P-Card Policy
-

5. Consequences of Non-Compliance

Add the following sentence to the existing section:

Non-compliance with *Buy Ontario Requirements* may also result in the Township being exposed to legal, financial, audit, reporting, reputational, and operational risk, including non-compliance with provincial procurement obligations.

SPECIFIC POLICY AMENDMENTS

6. Amend Section II – Procurement Principles and Goals

Add the following new clauses after the existing procurement principles:

14. To comply with all applicable provincial procurement legislation, regulations, and directives, including the *Buy Ontario Act (Public Sector Procurement), 2025* and the *Municipal Buy Ontario Procurement Directive*, as amended from time to time.

15. Where required by law or directive, the Township shall give priority to:

- **Ontario goods and services first**, and
- **Canadian goods and services second**,
subject to applicable exemptions, operational requirements, and legal obligations.

16. Procurement planning, specifications, solicitation documents, evaluations, recommendations, and award decisions shall incorporate *Buy Ontario Requirements* where applicable.

17. The Township shall maintain procurement practices that are fair, transparent, and defensible while implementing *Buy Ontario Requirements* in a manner consistent with applicable legislation and trade obligations.

18. Where *Buy Ontario Requirements* apply, procurement staff and Department Heads shall ensure that any preference, restriction, or evaluation criteria relating to Ontario or Canadian goods and services is clearly stated in the bid documents.

19. The Township shall maintain records sufficient to demonstrate compliance with *Buy Ontario Requirements*, including documentation of applicability, exemptions, rationale, and award decisions.

7. Amend Section III – General Conditions

Add the following new clauses:

21. The C.A.O. or designate shall ensure that *Buy Ontario Requirements* are incorporated into Township procurement procedures, templates, and evaluation practices where applicable.

22. No employee shall issue, award, or recommend a procurement that is subject to *Buy Ontario Requirements* unless such requirements have been reviewed and addressed in the procurement documents.

23. Where a procurement is subject to *Buy Ontario Requirements*, the user department shall identify and document:

- whether the procurement falls within a prescribed or strategic category,
- whether Ontario goods and services are available,
- whether Canadian goods and services are available,

- whether any exemption applies, and
- the rationale for the recommended procurement approach.

24. Where a non-Ontario or non-Canadian option is recommended for a procurement to which *Buy Ontario Requirements* apply, the file must contain written justification satisfactory to the C.A.O. or designate before award.

25. All solicitation templates issued by the Township for affected procurements shall include applicable Buy Ontario language, supplier declarations, verification rights, and any other terms required by law or directive.

8. Amend Section V – Specifications

Add the following new clauses:

4. Where *Buy Ontario Requirements* apply, specifications and terms of reference shall be prepared to support compliance with Ontario and Canadian preference requirements, while maintaining fairness, transparency, operational suitability, and competition to the extent permitted.

5. Departments shall avoid unnecessarily restrictive specifications unless required for operational, safety, compatibility, lifecycle, or regulatory reasons and such reasons are documented.

6. For procurements subject to *Buy Ontario Requirements*, bid documents may require proponents to provide declarations, certifications, product origin information, manufacturing information, supply chain information, or other evidence necessary to confirm eligibility or preference status.

9. Amend Section VII – Responsibilities and Authorities

Add the following new clauses:

9. Department Heads are responsible for identifying upcoming procurements that may be subject to *Buy Ontario Requirements* and consulting with the C.A.O. or designate before issuing procurement documents.

10. The C.A.O. or designate shall have authority to establish administrative procedures, forms, templates, declarations, internal guidance, and verification requirements necessary to implement *Buy Ontario Requirements*.

11. The C.A.O. or designate may update administrative procurement procedures to reflect changes to legislation, regulations, directives, thresholds, prescribed categories, evidentiary requirements, or provincial implementation dates, provided such updates do not conflict with this policy.

12. Where uncertainty exists regarding the application of *Buy Ontario Requirements*, the matter shall be referred to the C.A.O. or designate prior to issuance or award.

10. Amend Section VIII – Methods of Procurement

Add the following new general provision at the start of Section VIII:

Buy Ontario Compliance

Notwithstanding any other provision of this Policy, all methods of procurement shall be subject to *Buy Ontario Requirements* where applicable.

Before issuing a Request for Quotation, Tender, Request for Proposal, or other procurement document, the initiating Department Head, in consultation with the C.A.O. or designate, shall determine whether the procurement is subject to *Buy Ontario Requirements*.

Where applicable, the procurement document shall clearly state:

- any Ontario or Canadian preference requirement,
- any supplier declaration or certification requirement,
- any category-specific requirement for fleet vehicles or capital infrastructure,
- any evaluation impact arising from Buy Ontario compliance, and
- any documentation required to support an exemption or exception.

11. Add New Section VIII-A – *Buy Ontario Requirements*

Insert the following as a new section after Section VIII:

Section VIII-A

Buy Ontario Requirements

1. General

The Township shall comply with applicable *Buy Ontario Requirements* for all covered procurements.

2. Preference Order

Where required by applicable legislation or directive, the Township shall give procurement preference in the following order:

- a. Ontario goods and services
- b. Canadian goods and services
- c. other goods and services only where permitted

3. Applicability Review

Prior to issuing any procurement document, the initiating Department Head shall, in consultation with the C.A.O. or designate, determine whether the procurement:

- a. falls within a prescribed procurement category,
- b. exceeds any applicable threshold,
- c. is subject to a strategic category requirement, including fleet vehicles or capital infrastructure, and
- d. is subject to an exemption.

4. Fleet Vehicle Procurement

For fleet vehicle procurements subject to *Buy Ontario Requirements*:

- a. procurement documents shall incorporate applicable Ontario and Canadian preference requirements;
- b. departments shall consider available Ontario and Canadian compliant options when developing specifications;
- c. where a non-preferred option is recommended, written justification shall be included in the procurement file;
- d. no award shall be made without review by the C.A.O. or designate.

5. Capital Infrastructure Procurement

For capital infrastructure procurements subject to *Buy Ontario Requirements*:

- a. procurement planning and specifications shall consider applicable Ontario and Canadian preference requirements;

- b. tender and proposal documents shall include any required Buy Ontario provisions;
- c. departments shall document where Ontario or Canadian goods and services were considered and how compliance was addressed;
- d. where a non-preferred option is recommended, written justification shall be included in the procurement file and reviewed by the C.A.O. or designate prior to award.

6. Supplier Declarations and Verification

The Township shall require suppliers to provide declarations, certifications, or supporting documents regarding Ontario or Canadian status, origin of goods, place of manufacture, business presence, or other information required to assess compliance.

The Township reserves the right to verify supplier declarations and to reject bids, cancel awards, or pursue remedies where false or misleading information is provided.

7. Exemptions

Buy Ontario Requirements do not apply where:

- a. the procurement is exempt under legislation, regulation, or directive;
- b. the procurement is required to address an urgent and unforeseen situation or emergency;
- c. compliance would conflict with other applicable legislation; or
- d. another lawful exemption applies and is documented.

8. Documentation

For all procurements subject to *Buy Ontario Requirements*, the procurement file shall contain, where applicable:

- the applicability review,
- category determination,
- supplier declarations,
- evaluation notes,
- exemption rationale,
- justification for non-preferred selection, and
- approval documentation.

12. Amend Exceptions to Methods of Acquisition

Revise the **Emergency Procurement** section as follows:

c. Emergency Procurement

Notwithstanding the provisions of this policy, the following shall only apply in case of an emergency, when an event occurs that is determined by a Department Head or the CAO to be:

- a threat to public health
- the maintenance of essential Township services
- the welfare of persons or public property, or
- the security of the Township's interests

and the occurrence requires the immediate delivery of goods or services and time does not permit for competitive bids.

For greater certainty, emergency or urgent and unforeseen procurements may be exempt from *Buy Ontario Requirements* where permitted by applicable legislation or directive. All such procurements shall be documented and reported in accordance with this policy.

Add the following sentence to the end of the emergency section:

All emergency or urgent and unforeseen procurements shall include written documentation describing the circumstances, the goods or services acquired, the vendor selected, the price paid, and the reason normal procurement procedures and/or *Buy Ontario Requirements* could not be followed.

13. Amend Section IX – Bid Analysis

Add the following clause:

5.

For procurements subject to *Buy Ontario Requirements*, bid analysis shall also include assessment of compliance with Ontario and Canadian preference requirements, supplier declarations, and any documented exemption or justification relied upon.

14. Amend Section X – Reporting

Add the following new clause:

5.

In addition to existing reporting requirements, a report to Council shall be required where:

- a. a procurement subject to *Buy Ontario Requirements* recommends a non-preferred supplier and such recommendation is significant in value, risk, or public interest;
- b. *Buy Ontario Requirements* are proposed to be waived or an exemption is relied upon other than emergency procurement;
- c. the procurement relates to fleet vehicles or capital infrastructure and Council approval is otherwise required under this policy; or
- d. the C.A.O. determines that Council should be advised of a compliance, exemption, or implementation matter.

15. Amend Schedule “A” – Exemptions from Provisions of the Procurement Policies

Add the following note at the top of Schedule “A”:

Note: Exemptions listed in this Schedule are exemptions from the Township’s standard procurement procedures only. A listed exemption shall not automatically be interpreted as an exemption from the *Buy Ontario Act (Public Sector Procurement), 2025*, applicable regulations, or the *Municipal Buy Ontario Procurement Directive*, unless specifically permitted by law or directive.

16. Add Transitional / Administrative Clause

Add the following new section near the end of the policy:

Transitional Administration

The C.A.O. or designate is authorized to implement interim administrative procedures, revised templates, supplier declaration forms, and internal guidance necessary to give effect to this amendment pending consolidation of the full Procurement Policy.

Recommendation:

That the report Treasurer-2026-12, dated April 21, 2026 regarding the discontinuation of the detailed accounts payable report on the Council Agenda be received; and

That Council approves the discontinuation of detailed accounts payable reports on the Council Agenda; and

That Council direct staff to bring forward an amendment to the Procedural By-law to remove "Accounts" from the Order of Agenda; and

That staff continue to provide financial oversight information through summary financial reporting, budget reporting, procurement compliance reporting, and the audited financial statements.

Purpose

The purpose of this report is to recommend that the Township discontinue the inclusion of detailed accounts payable payment listings in regular Council agendas.

This recommendation is intended to support sound municipal governance, maintain appropriate financial oversight, reduce unnecessary disclosure of detailed transactional information, and ensure that Council's review remains focused on strategic and policy-level matters rather than routine administrative processing.

Background

At the Council meeting on September 15, 2025, Council received correspondence regarding "Accounts" as listed in the Order of Agenda, Section 6.1 of the Procedural By-law 2022-21, as amended. In response to the correspondence, the following Resolution was passed:

Resolution Number 258-2025

Moved by: Councillor Watt

Seconded by: Councillor Landsmann

That the complaint to Council dated September 2, 2025 regarding Accounts from the Douro-Dummer Local Taxpayers be received, and that it be brought forward to the new Treasurer after hire. Carried

From time to time, municipalities are asked to publish detailed accounts payable payment listings as a measure of transparency. While this may appear, at first glance, to provide greater openness, detailed accounts payable listings are not, in themselves, a strong governance tool and do not provide meaningful oversight at the Council level.

Accounts payable listings are operational records. They reflect payments that have already been processed through existing administrative controls, approved under

established authority, and made within the broader framework of Council-approved budgets, procurement requirements, internal controls, and audit review. For that reason, publishing or routinely presenting detailed accounts payable listings to Council can create misunderstanding about Council's role and can suggest a level of review or approval that is not operationally appropriate and does not improve accountability.

Discussion

1. Detailed Accounts Payable Listings Do Not Provide Effective Council Oversight

Council's role is to govern, set priorities, approve budgets, and monitor financial performance at a high level. Council is not responsible for reviewing routine invoices or second-guessing day-to-day payment processing.

Detailed accounts payable listings are retrospective and transactional. They show payments after the fact and do not, on their own, provide context regarding budget authorization, contract terms, procurement compliance, timing differences, accruals, cost-sharing arrangements, or project status. As a result, they can easily be misunderstood when viewed in isolation.

Providing detailed accounts payable listings to Council or publishing them in public agenda packages does not improve financial accountability. Instead, it increases the risk of misinterpretation and shifts attention toward routine administrative transactions rather than meaningful financial oversight.

Meaningful oversight is better achieved through:

- budget approval and amendments;
- budget-to-actual reporting;
- procurement compliance reporting;
- contract award reporting;
- variance analysis;
- reserve and capital reporting; and
- annual audited financial statements.

2. Publishing Detailed AP Listings Can Create Confusion and Undermine Good Governance

Routine publication of accounts payable listings may blur the distinction between Council's governance function and staff's administrative responsibilities.

If Council is presented with detailed payment listings after payments have already been processed, it can create a false expectation that Council should be reviewing individual expenditures line by line. That is not how municipal financial control is intended to operate.

Municipal accountability is not achieved through invoice-by-invoice review at the Council table. It is achieved through:

- clear budgets;
- delegated authority;
- procurement rules;
- approval controls;
- reconciliations;
- audit review; and
- regular financial reporting.

When Council is pulled into detailed operational payment review, there is a risk of encouraging micromanagement rather than effective oversight.

3. Detailed Payment Listings Can Be Misleading Without Full Context

Accounts payable listings often contain vendor names, invoice amounts, and payment dates, but they do not explain the full business context behind a transaction. Without supporting operational context, residents or Council members may incorrectly assume that:

- a payment is unusual when it is routine;
- a vendor relationship is inappropriate when it is properly procured;
- an amount is excessive when it may represent a progress payment, annual contract amount, pooled purchase, or grant-funded expense; or
- a payment reflects new spending when it may simply be timing related.

This can result in unnecessary concern, incomplete conclusions, and misplaced scrutiny of normal business operations.

Council is better served by summary-level reporting that explains material variances, major contracts, significant expenditures, and emerging financial pressures in context.

4. There Are Legitimate Privacy, Confidentiality, and Security Concerns

Although municipal spending must remain accountable, not all detailed transactional information needs to be routinely published in a public agenda package.

Detailed accounts payable listings may expose information such as:

- vendor identities including personal information;
- payment timing;
- payment amounts;
- transaction descriptions; and
- recurring payment patterns
- personal information and third party trade secrets as defined in the Municipal Freedom of Information and Protection of Privacy Act.

Routine public disclosure of this information may increase the Township's exposure to:

- phishing and impersonation attempts;
- business email compromise schemes;
- fraud targeting vendors and/or staff;
- misuse of information about municipal purchasing patterns; and
- unnecessary disclosure of commercially sensitive relationships.

In a small municipal environment, detailed public information can make it easier for external parties to infer internal processes, approval pathways, and payment cycles. Transparency should be balanced with appropriate risk management and with the principle of disclosing what is necessary for accountability, rather than everything that is operationally available.

5. Existing Financial Controls Already Provide Strong Accountability

The Township already has multiple layers of financial control and oversight in place.

These include:

- Council approval of the annual budget;
- procurement policies and by-law requirements;
- delegated authority and approval limits;
- invoice review and approval procedures;
- segregation of duties;
- account reconciliations and bank reconciliations;
- periodic financial reporting; and
- annual external audit.

These controls are specifically designed to ensure that spending is properly authorized, recorded, monitored, and reported.

For that reason, routine publication of detailed accounts payable listings are not necessary to establish accountability.

6. Better Reporting Options Are Available

If Council wishes to receive financial information in a way that supports its oversight role, there are better alternatives than publishing detailed AP listings.

These include:

- quarterly financial summary reports;
- budget-to-actual reporting;
- department-level expenditure summaries;
- capital project financial status reports;
- procurement compliance reports;
- contract award reports;
- year-end financial reporting; and
- audited financial statements.

These tools provide Council with more useful and more strategic information than a raw transaction list.

Financial Impact

There is no direct financial impact arising from this recommendation.

However, discontinuing the inclusion of detailed accounts payable listings in regular Council agendas would support more efficient administration and allow staff to focus on preparing financial reporting that is more useful, contextual, and relevant to Council's oversight role.

Strategic and Legislative Considerations

This recommendation supports sound municipal governance by reinforcing the distinction between Council's role in setting direction and staff's role in carrying out day-to-day administration.

The recommended approach also supports principles of accountability, transparency, confidentiality, and effective internal control by ensuring that financial oversight is provided in a manner that is appropriate to the nature of Council's responsibilities.

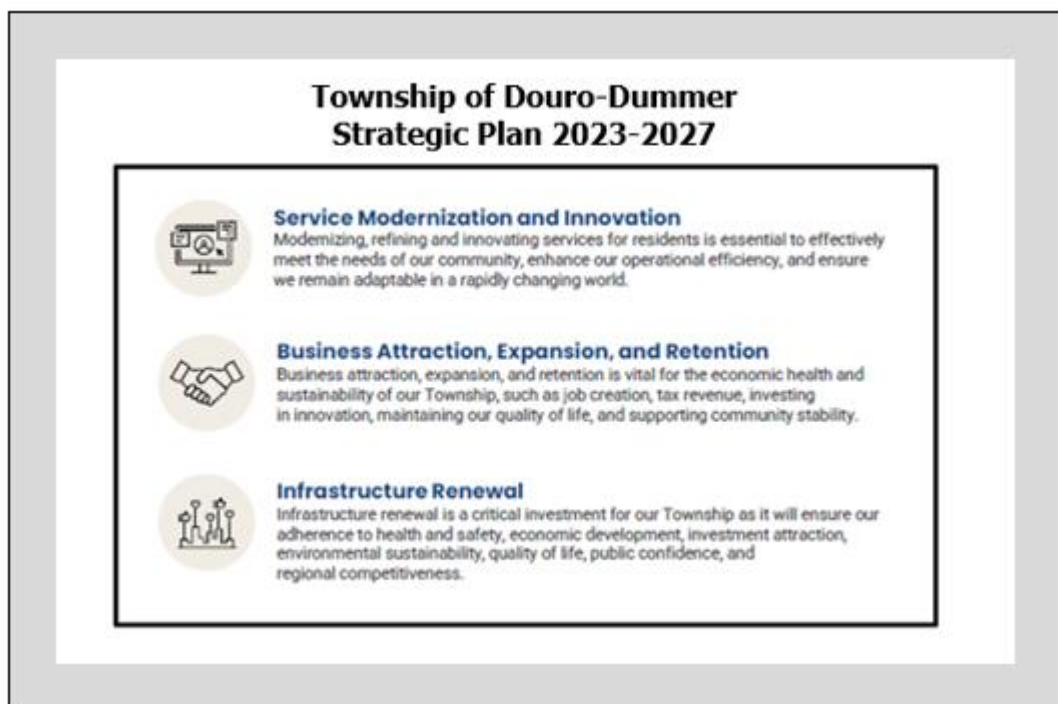
Conclusion

Council's responsibility is to provide governance, oversight, and strategic financial direction — not to review routine payments on a transaction-by-transaction basis. Providing detailed accounts payable listings to Council or publishing them in public agenda packages would not improve financial accountability but would increase the risk of misinterpretation and unnecessary focus on routine administrative transactions.

Detailed accounts payable listings are not an effective governance oversight tool, can be misleading without context, may expose the Township to avoidable privacy and fraud-related risks, and can blur the line between Council’s role and staff’s administrative responsibilities.

The Township already has appropriate financial controls in place, including budget approval, procurement rules, delegated authority, internal controls, financial reporting, and annual audit review.

For these reasons, the recommended approach is to discontinue the inclusion of detailed accounts payable listings in Council agendas and instead provide Council with summary-level financial information that is more relevant, strategic, and appropriate to its role.



Report Approval Details

Document Title:	Discontinuation of Detailed Accounts Payable Listings in Council Agendas - Treasurer-2026-12.docx
Attachments:	
Final Approval Date:	Apr 16, 2026

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

Recommendation:

That the report C.A.O.-2026-13, dated April 21, 2026 regarding Service Delivery Review – Development Services – Update 2 be received for information.

Overview:

Through the second phase of this process, Triton has made the following progress:

1. Webpage is available through the Township’s website with email links to consultant. The information is located here:
<https://www.dourodummer.ca/building-and-planning/douro-dummer-building-planning-economic-development-service-review/>
2. Triton staff continue to receive survey responses until April 30th.
3. The project Background Report will be available through the webpage May 1
4. First Public Forum May 7: 6:30pm to 8:00pm Township Council Chambers
5. Preparing Open House Presentation to be available on website May 4

Triton has agreed to extend the response period for the surveys to April 30th to ensure a full response. Township staff assisted in promoting the survey through the Township newsletter, on the website and via social media. Members of the public and Council are encouraged to complete their questionnaire.

The consultant will be in the Township in late April and early May to conduct in-person interviews with Council members, staff, stakeholders and members of the public. Those interested in being interviewed are encouraged to email the consultant directly to schedule an interview. Contact information is located here:

<https://www.dourodummer.ca/building-and-planning/douro-dummer-building-planning-economic-development-service-review/>

The proposed public forum format will include a short presentation from Triton followed by an opportunity to hear from the public. This is an in-person activity and at the request of Triton, Building and Development Services staff have been requested not to attend the forum. Questionnaires will be available to be completed at the forum and members of the public may request interviews with Triton staff.

The review of permit fees, volumes and rates from the County and local tier municipalities is complete and is being verified for publishing in the Background Report.

Ongoing Implementation and project milestones:

Timing on the four phases is adjusted as follows:

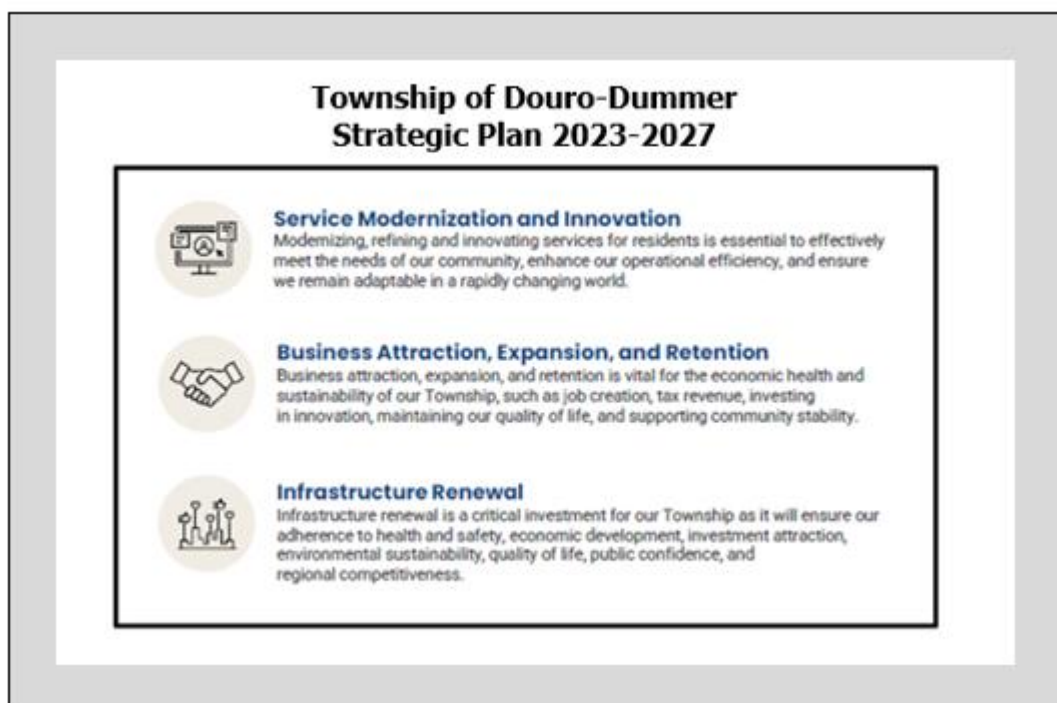
1. Finish Background Report and Presentation
2. Public Engagement: First Public Forum May 7th
3. Complete Analysis and hold a Public Meeting by before June 11th
4. Reporting Complete Council Presentation Conclusion before June 30th

Conclusion:

At this stage of the project schedule Triton has finalized the project timelines to ensure a fulsome community engagement. Project completion continues to be on schedule as per the RFP.

Financial Impact:

There is no financial impact for the purposes of this rep



Report Approval Details

Document Title:	Service Delivery Review - Development Services - Update 2 - C.A.O.-2026-13.docx
Attachments:	
Final Approval Date:	Apr 16, 2026

This report and all of its attachments were approved and signed as outlined below:

Martina Chait-Hartwig

Todd Davis

**Township of Douro-Dummer Arena Facilities Future Ad-Hoc Committee
Minutes**

**Date: October 28, 2025, 5:30 p.m.
Harvest Room
Douro Community Centre**

Committee: **Chair – Heather Watson
Committee Member – Jim Bailey
Committee Member – Kerri Riel
Committee Member – Liam Ryan**

Regrets: **Committee Member – Gerard Sullivan**

Staff Present: **Manager of Recreation Facilities – Mike Mood
C.A.O. – Todd Davis
Legislative Services Assistant – Patti O’Grady**

1. Chair to call meeting to order

The Chair called the meeting to order at 5:35 p.m.

2. Disclosure of Pecuniary Interest

The Chair reminded members of Committee of their obligation to declare any pecuniary interest they might have. None were declared.

3. Approval of Agenda – October 28, 2025

Moved by: Liam Ryan
Seconded by: Kerri Riel

That the agenda for the Arena Facilities Future Ad-Hoc Committee Meeting, dated October 28, 2025, be received and approved. Carried

4. Approval of Minutes:

4.1 Ad-Hoc Recreation Facilities Committee Minutes – September 11, 2024

Moved by: Kerri Riel

Seconded by: Liam Ryan

That the Minutes from the meeting held on September 11, 2024, be received and approved. Carried

Committee Member, Jim Bailey joined the meeting at 5:38 p.m.

5. Business Arising from Minutes:

Mike Mood, Manager of Recreational Facilities, updated the Committee on the Community Sport and Recreation Infrastructure Fund.

6. New Business:

6.1 Douro-Dummer Low Carbon Plan - Warsaw Community Centre & Douro Community Centre

Mike Mood discussed the Douro-Dummer Low Carbon Plan from Enerlife Consulting. The plan includes solutions in reducing the facilities carbon footprint and working towards meeting the future environmental requirements set out by upper levels of government.

The Committee discussed some of the goals are more reachable than others listed in the plan for replacing equipment and assets.

6.2 News Release August 11, 2025 - Douro-Dummer Awarded Million Dollar Investment for Douro Community Centre

The application for funding was submitted and supported by MPP Dave Smith.

6.3 Verbal update on Douro Community Centre Ice Surface Floor

Mike Mood confirmed that an engineering firm has been secured, Barry Bryan Associates, for the Ice Surface project.

The Committee discussed that the possibility for in-floor heating is no longer feasible because the Douro Community Centre was not engineered in a way that would allow for the introduction of in-floor heating.

Mike discussed further planning for future renovations at the Douro Community Centre.

Mayor Heather Watson, Chair, added that there is allowance in the proposed 2026 Budget to address the water flow issues affecting the Douro Community Centre.

6.4 Terms of Reference Update

The Committee discussed the need to broaden the Committee's role and update the Terms of Reference. There is a need to diversify membership by including additional community members to better represent the community as a whole and to gain broader perspectives.

The Committee discussed possible opportunities for growth at the Douro Community Centre property.

7. Next Meeting Date: To Be Announced

8. Adjournment

Moved by: Kerri Riel

Seconded by: Jim Bailey

That the meeting adjourn. (7:10 p.m.)

Carried

Chair, Heather Watson

Patti O'Grady
Legislative Services Assistant

Minutes of the Committee of the Whole of the Township of Douro-Dummer

April 15, 2026, 10:00 AM

Council Chambers in the Municipal Building

Present:
Mayor Heather Watson
Deputy Mayor Harold Nelson
Councillor Thomas Watt
Councillor Ray Johnston
Councillor Shelagh Landsmann

Staff Present
C.A.O. - Todd Davis
Clerk - Deputy C.A.O. - Martina Chait-Hartwig
Treasurer - Stacy Grenier
Fire Chief - Chuck Pedersen
Chief Building Official - Don Helleman
Manager of Public Works - Jake Condon
Manager of Recreation Facilities - Mike Mood
Fire and Emergency Services Assistant – Keirsten Hamblin

1. Call to Order

With a quorum of the Committee being present, the Chair called the meeting to order at 10:01 a.m.

2. Land Acknowledgement

The Chair recited the Land Acknowledgement.

3. Disclosure of Pecuniary Interest:

The Chair reminded members of Committee of their obligation to declare any pecuniary interest they might have. None were declared.

4. Adoption of Agenda: April 15, 2026

Resolution Number 014-2026

Moved By: Deputy Mayor Nelson

Seconded By: Councillor Johnston

That the agenda for the Committee of the Whole, dated February 21, 2026, be adopted, as circulated.

Carried

5. Delegations, Petitions or Presentations:

5.1 Presentation - Sarah Hubble, Canoe Procurement Group of Canada

Resolution Number 015-2026

Moved By: Councillor Johnston

Seconded By: Councillor Landsmann

That the presentation from Sarah Hubble, Canoe Procurement Group of Canada regarding cooperative purchasing be received. Carried

6. Reports - Managers' Updates

6.1 Fire Department Update - April 2026 - Fire Chief-2026-02

Resolution Number 016-2026

Moved By: Deputy Mayor Nelson

Seconded By: Mayor Watson

That the Fire Department Update Report - April 2026 - Fire Chief-2026-02 be received with thanks. Carried

6.2 Recreation Facilities Department Update - April 2026 - Recreation Facilities-2026-02

Resolution Number 017-2026

Moved By: Deputy Mayor Nelson

Seconded By: Councillor Landsmann

That the Parks and Recreation Department Update Report - April 2026 - Recreation Facilities-2026-02 be received with thanks. Carried

6.3 Public Works Department Update - April 2026 - Public Works-2026-03

Resolution Number 018-2026

Moved By: Councillor Johnston

Seconded By: Councillor Landsmann

That the Public Works Department Update Report - April 2026 - Public Works-2026-03 be received with thanks. Carried

6.4 Building and Planning Department Update - April 2026 - Building and Planning Department-2026-02

Resolution Number 019-2026

Moved By: Deputy Mayor Nelson

Seconded By: Councillor Johnston

That the Building and Planning Department Update Report - April 2026 - Building and Planning Department-2026-02 be received with thanks.

Carried

6.5 Finance Department Update - April 2026 - Treasurer-2026-10

Resolution Number 020-2026

Moved By: Deputy Mayor Nelson

Seconded By: Councillor Landsmann

That the Finance Department Update Report - April 2026 - Treasurer-2026-10 be received with thanks.

Carried

6.6 Clerk's Department Update - April 2026 - Clerk's Office-2026-11

Resolution Number 021-2026

Moved By: Mayor Watson

Seconded By: Councillor Johnston

That the Clerk's Department Update Report - April 2026 - Clerk's Office-2026-011 be received with thanks.

Carried

6.7 CAO Department Update – April 2026 - C.A.O.-2026-12

Resolution Number 022-2026

Moved By: Councillor Johnston

Seconded By: Deputy Mayor Nelson

That the CAO's Office Update Report - April 2026 - C.A.O.-2026-12 be received with thanks.

Carried

Resolution Number 023-2026

Moved By: Mayor Watson
Seconded By: Councillor Johnston

That the Committee move to recess and resume the meeting at 11:30 a.m. Carried

Resolution Number 024-2026

Moved By: Deputy Mayor Nelson
Seconded By: Mayor Watson

That the Committee resume the meeting (11:31 a.m.). Carried

7. 11:30 a.m. - Closed Session

Resolution Number 025-2026

Moved By: Councillor Landsmann
Seconded By: Mayor Watson

That the Committee go into Closed Session for the following reasons under Section 239 (2) and (3) of the Municipal Act, 2001, S.O. 2001, c. 25:

(c) a proposed or pending acquisition or disposition of land by the municipality or local board; (Lease of Land)

(i) a trade secret or scientific, technical, commercial, financial or labour relations information, supplied in confidence to the municipality or local board, which, if disclosed, could reasonably be expected to prejudice significantly the competitive position or interfere significant with the contractual or other negotiations of a person, group of persons, or organization (Third-party Trade Secrets)

(11:32 a.m.) Carried

8. Rise from Closed Session with or without a Report

Resolution Number 026-2026

Moved By: Deputy Mayor Nelson
Seconded By: Councillor Johnston

That the Committee rise from Closed Session without a report (12:52 p.m.). Carried

9. Matters Arising from Closed Session

None

10. Adjournment

Resolution Number 027-2026

Moved By: Councillor Landsmann

Seconded By: Deputy Mayor Nelson

That this meeting adjourn (12:53 p.m.)

Carried

Chair, Tom Watt

Clerk, Martina Chait-Hartwig

Patti O'Grady

Subject: FW: Municipal Engineers Association Comments/Concerns Re: OPS Harmonization
Attachments: MEA Comments to MTO Regulatory Registry.pdf; MEA letter to MTO March 29 2026.pdf; Briefing Note.pdf

You don't often get email from dan.cozzi@municipalengineers.on.ca. [Learn why this is important](#)

Dear Municipal Clerk:

The Municipal Engineers Association (MEA) recently provided comments to the Province's plan to Harmonize Ontario Provincial Standards (OPS). The MEA's comments included:

1. Response dated March 29, 2026 to Ontario Regulatory Registry 26-MTO003 - *Harmonization of Municipal Road Construction Standards*. Attached.
2. Letter to the Ministry of Transportation dated March 29, 2026 re: *Harmonization of Municipal Road Construction Standards and Associated Governance Model*. Attached.
3. Delegation to MTO senior staff during the Good Roads Conference on March 31, 2026 (attached briefing note summarizes MEA's concerns).

The MEA Board of Directors recently passed a motion that all Ontario Municipalities be made aware of the MEA's comments and significant concerns regarding *Harmonization of Municipal Road Construction Standards*.

We respectfully request that you please provide this email and the three attachments to your Municipal Council.

Sincerely,



D.M. (Dan) Cozzi P.Eng,

Executive Director



www.municipalengineers.on.ca

The content of this email is provided for general information purposes only and does not constitute legal or other professional advice or an opinion of any kind. Use of the Municipal Engineers Association's (MEA) website and any communications between individuals requesting information and the MEA does not create or constitute, in any way, a professional or business relationship between the MEA, or any individual members, and the individual requesting information. Individuals requesting information from the MEA are advised to seek specific legal or other professional advice from their own legal counsel or other professionals, regarding any specific legal or other issues. While every effort is made to ensure the accuracy of information in this email, the MEA does not warrant or guarantee the quality, accuracy or completeness of any information provided in this email, and the information contained in this email should not be relied upon as accurate, timely or fit for any particular purpose. The MEA also does not guarantee the security or confidentiality of any communications made by e-mail or otherwise through its web site. The MEA does not assume any responsibility for any misinterpretation or misapplication of any information contained in this email or on its website.

March 29, 2026

Municipal Standards Harmonization Office (MSHO)

Subject: MEA Comments to Ontario Regulatory Registry 26-MTO003

We are writing to respond to Ontario Regulatory Registry 26-MTO003 - Harmonization of Municipal Road Construction Standards.

Municipal engineers play a vital role in planning, maintaining, renewing, and constructing municipal infrastructure. Their expertise spans all aspects of municipal infrastructure services - from design and construction to project management and leadership – ensuring the successful delivery of both small and large-scale capital infrastructure projects.

Through its membership, MEA provides specialized knowledge in all areas of municipal engineering in Ontario. In partnership with the Ministry of Transportation Ontario (MTO), MEA co-manages the Ontario Provincial Standards & Specifications (Municipal) and delivers training on Ontario Provincial Standards.

While we support the intent of the regulation to promote consistency, quality, and efficiency across municipal road construction projects, we recommend that additional consideration be given to the time and administrative burden associated with preparing, reviewing, and obtaining exemptions, as well as the cumulative impacts on project delivery arising from project-by-project assessments.

Exemption requests that require detailed technical justification across multiple evaluation criteria can take a considerable amount of time to prepare, particularly for complex or large-scale projects. This work frequently requires the involvement of senior engineering, technical, legal, and procurement resources, diverting limited capacity away from active project delivery. The time required to assemble a complete exemption request should therefore be recognized as a potential schedule, cost, and resourcing risk in its own right.

Equally important is the duration and predictability of the Minister's review and response timelines. When exemptions are assessed on a project-by-project basis without defined service standards or response timelines, projects may experience material delays while awaiting decisions. These delays can produce cascading impacts, including missed construction windows, contractor demobilization and remobilization costs, loss of price certainty, and increased exposure to supply-chain volatility. For time-sensitive or critical

infrastructure projects, even relatively short delays in regulatory decision-making can result in disproportionate impacts to project schedules and budgets.

To better reflect these realities, we recommend that the exemption framework explicitly consider additional criteria, including:

- Administrative and decision-cycle timelines, including the anticipated time required for review and approval and the impact of uncertainty on project planning and procurement;
- Cumulative impacts across multiple projects, particularly where similar exemption requests are repeatedly submitted for comparable project types or conditions;
- Schedule dependency and critical path impacts, including whether delays in exemption approval would directly affect construction sequencing, seasonal work constraints, or contractual obligations; and
- Consistency and precedent considerations, whereby prior approvals for similar circumstances could support streamlined or standardized decision-making, rather than requiring repetitive project-level analysis.

Incorporating these considerations would help ensure that the exemption process supports timely and efficient project delivery while still meeting regulatory objectives. Clear expectations regarding submission requirements and response timelines, as well as opportunities for programmatic or category-based exemptions where appropriate, would significantly reduce risk to project schedules and budgets without compromising safety, performance, or sustainability outcomes.

Looking ahead, and assuming the Ministry is able to successfully deliver the current list of harmonized standards within the proposed timeframe, we agree that the remaining OPSS.MUNI standards should be prioritized for future harmonization based on where the greatest time, cost, and administrative efficiencies can be achieved. In our view, this would include:

- Standards with the highest frequency of use across municipalities, where harmonization would reduce repetitive project-specific reviews, municipal deviations, and contract amendments;
- Standards that routinely generate exemptions, interpretations, or disputes, indicating inconsistency or misalignment that drives additional design effort, approval cycles, or delays;
- Standards that significantly affect project schedules or cost certainty, including those related to materials, construction methods, or inspection requirements that influence procurement and delivery timelines;

- Standards that overlap or interact closely with those already harmonized, where alignment would enhance system coherence and reduce unintended conflicts or inefficiencies; and
- Standards that affect regional or multi-jurisdictional projects, where inconsistent requirements currently increase coordination challenges and administrative complexity.

A transparent, phased approach, supported by demonstrated progress on the initially harmonized standards, would help ensure that future harmonization efforts are achievable and deliver tangible benefits. Clearly articulating how the Ministry will complete the current scope, and how lessons learned will inform the prioritization of remaining standards, will be essential to achieving intended efficiency gains without overextending implementation capacity.

Thank you for the opportunity to comment on this important initiative. We would welcome continued engagement as the regulation is refined and implemented.

Sincerely,



**Penelope Palmer, P. Eng.,
MEA President 2025 – 2026**
(Manager, Strategic Initiatives
Strategic Capital Coordination Office
City of Toronto)

March 29, 2026

Municipal Standards Harmonization Office (MSHO)

**Subject: Harmonization of Municipal Road Construction Standards and
Associated Governance Model**

On behalf of the Municipal Engineers Association (MEA) and our municipal members, we acknowledge the Ministry of Transportation of Ontario's (MTO) ongoing efforts to maintain and modernize the Ontario Provincial Standard Specifications (OPSS). As partners and co-stewards of the OPSS, the MEA recognizes the importance of ensuring these standards remain current, effective, and responsive to the evolving needs of infrastructure delivery across Ontario.

The Municipal Engineers Association (MEA) is a non-profit organization representing more than 1,300 professional engineers working across 110+ Ontario municipalities, along with engineers from provincial agencies, conservation authorities, and consulting firms serving smaller municipalities. With a history spanning over 60 years, MEA was formed through the amalgamation of the City Engineers Association and the County Engineers Association. The association supports excellence in municipal engineering, recognizing the critical role municipal engineers play in planning, delivering, maintaining, and renewing infrastructure. The MEA provides specialized expertise across all areas of municipal engineering and, in partnership with the Ontario Ministry of Transportation (MTO), co-manages the Ontario Provincial Standards & Specifications (Municipal) and delivers related training across the province.

The long-standing success and credibility of the OPSS has been built on a collaborative partnership between the MTO and the MEA, grounded in co-stewardship, shared accountability, and balanced provincial and municipal technical expertise. The recent unilateral actions by the Ministry are inconsistent with the principles of partnership, and collaboration that have historically underpinned the success of the OPSS. Successful change and adoption cannot be achieved without first defining the problem, evaluating solutions and their consequences, and engaging partners through meaningful consultation.

The MEA has significant concerns regarding both the process and substance of the proposed harmonization of standards, including the lack of meaningful engagement with MEA and other municipal stakeholders, and the absence of a clear, shared understanding of the issues driving these proposed changes. These concerns are material and must be addressed if the changes are to be successfully implemented, broadly adopted, and supported over the long term.

Problem Definition, Need for Evidence and Supporting Data

At present, it is unclear what problems or deficiencies the MTO perceives to exist within the current OPSS framework. The MEA and its members are not aware of systemic failures or performance issues that would warrant the breadth, scale, or urgency of the changes being proposed. It is also unclear how these changes are expected to lead to reduced costs, improved efficiency, or better outcomes.

The MEA respectfully requests that the MTO clearly identify the concerns with the current framework, and share any analysis, metrics, benchmarking, or other evidence used to justify the anticipated benefits of the proposed modernization. Municipalities are concerned that the proposed changes will likely increase administrative burden, project complexity, and overall costs rather than achieve the intended efficiencies.

There are legitimate questions being raised about how a one-size-fits-all approach can successfully address the diversity of municipal conditions and requirements across Ontario. There is also apprehension that additional approval steps, reporting requirements, and governance layers will likely introduce project delays, uncertainty, and higher delivery costs without demonstrated public or operational benefit.

Clarification on the Modernized Governance Framework

The MEA respectfully requests clarification on how the proposed governance framework differs in a meaningful way from the current model. Municipal and industry engagement, along with technical input into standards development and review, already occurs through established existing technical committees, working groups, and consultation processes.

To build understanding and confidence, MTO must clearly articulate the added value of the proposed approach, including:

- What new roles, authorities, or decision-making structures would be introduced;
- What changes are anticipated in how standards are prioritized, approved, or updated; and
- How the proposed model will measurably improve efficiency, cost-efficiency, transparency, or consistency compared to the existing framework.

Annual Reporting, Exemptions and Compliance

The MEA understands the proposed framework would require mandatory annual reporting to the MTO including the introduction of a new approval process for exemptions. There are significant concerns related to the administrative burden these processes will put on municipalities, which will in turn affect their ability to deliver

projects and programs successfully in any given budget cycle. The administrative effort this approval process creates, without understanding the process, review requirements or timelines, is not demonstrative of an overall benefit. Clarity on these matters is essential. An opaque or slow exemption process introduces material risk to project delivery, schedules, costs, and contractual certainty.

Further clarification on annual reporting collection is essential to understanding the purpose and anticipated outcomes. Specifically, the MEA is requesting more information on the following:

- The specific purpose of the reporting;
- How the data will be used to inform decisions or policy;
- How reporting will account for local context and project complexity; and
- Will the reporting be the basis to track compliance.

Further clarification on the exemption process is perhaps even more essential, as it presents an even greater risk to successful project delivery if the process is overly burdensome, lengthy and lacks defined service standards. Expectations and timelines will need to be factored when municipalities are building programs for infrastructure renewal and rehabilitation. Even at these early stages, municipalities are flagging risks with their ability to deliver Council approved commitments if the exemption process is not clearly defined, and is not well supported. It is imperative that the MTO clarify the following:

- How exemptions will be reviewed and approved;
- Who will sit on the review panel and how municipal representation will be ensured;
- What service standards or timelines will apply to exemption decisions;
- Would an Ontario municipality continue to be recognized as a sponsor for new or revised standards when requests originate from a non-member; and
- What penalties or consequences are contemplated for non-compliance.

A one-size-fits-all approach does not reflect the realities of infrastructure delivery across Ontario. Municipalities operate under widely differing conditions, including climate, geography, asset profiles, operational constraints, material and labour market availability. Effective standards must allow flexibility to account for these differences if they are to be practical, efficient, and consistently applied province-wide.

In this context, the MEA and several municipalities have raised the need for blanket or standing exemptions in certain circumstances where efficiency can be demonstrably improved without compromising safety or performance. Requiring repeated case-by-case exemption requests for well-understood, low-risk municipal practices is viewed as inefficient and counterproductive. A model that combines clear standards

with appropriate flexibility and blanket approvals would better reflect local conditions and established municipal engineering practices while maintaining safety and performance.

Broader Impacts Across the Infrastructure Delivery Sector

While municipalities are directly affected, it is important to underscore that these proposed changes have far reaching implications beyond municipal owners alone. Designers, consulting engineers, contractors, suppliers, and other industry partners will also be impacted through changes to standards, approvals, contract administration, project schedules, and risk allocation. Successful modernization must therefore consider the full infrastructure delivery ecosystem, not solely municipal compliance obligations.

Partnership, Co-Stewardship, and Governance

The absence of the MEA from MTO's proposed development, roll-out and implementation of a standardized OPSS has raised concerns that the framework will shift toward a centralized, MTO-led model and will no longer function as a true partnership or co-stewardship.

The MEA requires clarity on how our role as co-steward will be explicitly protected and embedded within the proposed governance structure. Without a clearly defined, formalized role in decision-making and oversight, municipal confidence in the governance framework will be significantly undermined.

Further, the MEA seeks immediate clarification on the future role of the existing MTO/MEA specialty committees. These committees provide critical technical review, municipal insight, and issue resolution. It is uncertain whether they will be replaced, duplicated, or marginalized under the new framework, and how authority and accountability will be allocated going forward.

Path Forward and MEA's Ongoing Role

In the spirit of collaboration, the MEA offers the following constructive proposal to support a more effective and broadly supported outcome:

- Pause implementation to allow time for a shared understanding of the issues MTO is seeking to address and to explore whether alternative, more effective solutions exist;
- Pursue targeted harmonization, recognizing that some alignment is beneficial while preserving local flexibility. This should include the use of standardized

requirements where appropriate, complemented by blanket or standing approvals to reduce repetitive exemption requests;

- Map proposed review, approval, and reporting processes in detail and work collaboratively to identify and address pressure points before implementation;
- Establish a provincial working group, with representation from MEA members, MTO staff, and subject matter experts across Ontario, to identify priorities, risks, and opportunities from multiple perspectives;
- Engage consultants and contractors to understand how proposed changes will affect design, construction, procurement, and risk allocation and
- Ensure the process is not rushed, recognizing that thoughtful, inclusive development is essential to achieving sustainable and credible outcomes.

The MEA remains committed to the success of OPSS and to working collaboratively with MTO. However, meaningful partnership requires transparency and evidence-based decision-making, appropriate inclusion in governance, and genuine shared stewardship aligned with municipal realities.

Should the MEA continue to be excluded from the governance model or from substantive decision-making related to OPSS, the MEA will need to re-evaluate its role, partnership, and level of support for the framework moving forward. Our strong preference is to address these issues proactively through dialogue, collaboration, and shared clarity around roles and objectives. Providing the requested data, clarifying governance roles, addressing exemption and compliance concerns, and slowing implementation to allow proper consultation are necessary first steps.

The MEA welcomes the opportunity for prompt discussion and looks forward to working collaboratively to ensure any changes to OPSS strengthen—rather than undermine—the confidence, effectiveness, and partnership that have long defined its success.

Sincerely,



Penelope Palmer, P. Eng.,
MEA President 2025 – 2026
(Manager, Strategic Initiatives
Strategic Capital Coordination Office
City of Toronto)

BRIEFING NOTE
OPSS Modernization & Harmonization Concerns



TO: Ministry of Transportation of Ontario (MTO)

FROM: Municipal Engineers Association (MEA)

DATE: Tuesday, March 31, 2026

PURPOSE

To convey the MEA's significant concerns regarding the process and substance of MTO's proposed harmonization of the Ontario Provincial Standard Specifications (OPSS), and to request meaningful engagement before implementation proceeds.

BACKGROUND

The OPSS has long been grounded in a collaborative co-stewardship model between MTO and the MEA. Recent unilateral actions by MTO, without prior consultation with municipal stakeholders, are inconsistent with that partnership and risk undermining confidence in the framework. Successful change cannot be achieved without first defining the problem, evaluating solutions, and engaging partners through meaningful consultation.

KEY CONCERNS

1 LACK OF PROBLEM DEFINITION & EVIDENCE

The MEA is unaware of systemic failures in the current OPSS framework justifying the scale or urgency of proposed changes. MTO has not shared analysis, metrics, or benchmarking to support anticipated benefits. Municipalities expect the changes will increase, not reduce, administrative burden and project costs.

2 GOVERNANCE CLARITY & CO-STEWARDSHIP

It is unclear how the proposed model meaningfully differs from the current one, or how the MEA's co-stewardship role will be formally protected. The future of existing MTO/MEA technical committees, which provide critical municipal insight and issue resolution, remains uncertain.

3 EXEMPTIONS & ANNUAL REPORTING

Mandatory reporting and a new exemption approval process introduce material risk to project delivery. Without defined timelines and service standards, municipalities cannot reliably plan Council-approved programs. Blanket exemptions should be available for well-understood, low-risk practices.

4 ONE-SIZE-FITS-ALL LIMITATIONS

Ontario municipalities operate under widely varying conditions including climate, geography, asset profiles, and labour markets. Effective standards must allow appropriate local flexibility to be practical and consistently applied province-wide. A uniform approach risks being neither efficient nor effective.

REQUESTED ACTIONS

- ▶ **Pause implementation** to allow shared problem definition and evaluation of alternatives before proceeding.
- ▶ **Share supporting evidence** including analysis, metrics, and benchmarking used to justify the proposed changes.
- ▶ **Clarify the governance model** and formally embed the MEA's co-stewardship role within the new structure.
- ▶ **Define the exemption process** including review timelines, panel composition, and measurable service standards.
- ▶ **Establish a joint provincial working group** with municipal, MTO, consultant, and contractor representation.

CONCLUSION

The MEA remains committed to the OPSS and to working collaboratively with MTO. Should the MEA continue to be excluded from substantive governance decisions, it will need to re-evaluate its role and level of support for the framework. Transparent, evidence-based, and inclusive engagement is essential to any modernization that strengthens, rather than undermines, the credibility and effectiveness of the OPSS.



Office of the Warden, C.A.O. & Clerk
Hastings County

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www.hastingscounty.com

April 8, 2026

Sent via email

The Right Honourable Mark Carney, Prime Minister of Canada
The Honourable Steve MacKinnon, Minister of Transportation
The Honourable Doug Ford, Premier of Ontario
M.P. Shelby Kramp-Neuman
M.P. Chris Malette
M.P.P. Ric Bresee
M.P.P. Tyler Allsopp
Martin Imbleau, President and CEO of Alto
Mayors and Councils of 14 Hastings County Municipalities
Federation of Canadian Municipalities (FCM)
Association of the Municipalities of Ontario (AMO)
Ontario Federation of Agriculture
Eastern Ontario Mayors
Eastern Ontario Municipalities
Eastern Ontario First Nations Partners

RE: Hastings County Motion regarding Alto High Speed Rail

At a meeting held on March 26, 2026, Hastings County Council approved the following resolution:

Moved by: Councillor Claire Kennelly
Seconded by: Councillor Loyde Blackburn

WHEREAS the federal government has identified Alto High Speed Rail as a nation-building project with an estimated cost of \$60-\$90 billion, to deliver faster, more reliable passenger rail service; and

WHEREAS Alto is advancing plans for a high speed passenger rail project between the Quebec City – Toronto corridor, cutting through eastern Ontario; and

WHEREAS there is only one proposed stop across 50,000 square kilometres region, benefitting urban residents at the cost of rural residents and lands; and

WHEREAS portions of the proposed project will traverse and impact eastern Ontario communities, infrastructure, residential and agricultural lands, municipal trails and environmentally sensitive areas, and with no long term economic benefits; and

WHEREAS the closure and/or dead ending of roads will have significant ongoing and unknown costs to municipalities, as well as service delivery and emergency response implications to residents and businesses; and

WHEREAS eastern Ontario municipalities and residents have not received sufficient detailed information regarding potential local impacts, including land use, environmental effects, municipal infrastructure interfaces and long-term financial or operational implications; and

WHEREAS municipal governments are responsible for protecting local interests, ensuring compatibility with existing planning frameworks, as well as safeguarding environmental, community and resident mental health and wellbeing; and

WHEREAS the County of Hastings and its member municipalities are actively trying to engage with Alto through a truly meaningful consultation process to understand the impacts of both high speed rail train routes to our residents' lands, trails and businesses; and

WHEREAS the County of Hastings is an eastern Ontario advocacy voice representing 14 municipalities who value and will advocate for the region's beautiful lands that hold deep agricultural and cultural roots, and that are home to our rural and small-urban communities that will be impacted by Alto;

THEREFORE, let it be resolved that the County of Hastings formally opposes the Alto project in its current form; and

THAT this opposition is based on concerns related to insufficient municipal consultation, unclear rural and small-urban impacts, potential environmental effects and alignments with existing eastern Ontario planning and infrastructure priorities; and

THAT the County of Hastings urge our member municipalities, partners, businesses and residents to share their questions and comments with Alto and federal representatives as part of the engagement process; and

THAT the County of Hastings look to gather detailed information from Alto to more fully understand the project and its impacts across eastern Ontario; and

THAT the County of Hastings advocates that the federal government and Alto fully explore train route options along existing corridors such as via rail and or Highway 401; and

THAT a copy of this resolution be sent to the Right Honourable Mark Carney, Prime Minister of Canada, the Honourable Steve MacKinnon, Minister of Transportation, Martin Imbleau, President and CEO of Alto, Mayors and Councils of 14 Hastings County Municipalities, Premier Doug Ford, Federation of Canadian Municipalities, Rural Ontario Municipal Association, Association of Municipalities of Ontario, Eastern Ontario Wardens Caucus Members of Provincial Parliament, Eastern Ontario Wardens Caucus Members of Parliament, Ontario Federation of Agriculture, Eastern Ontario Mayors, All Eastern Ontario municipalities and Eastern Ontario First Nations partners.

Yours truly,

A handwritten signature in black ink, appearing to read "Cathy Bradley". The signature is written in a cursive, flowing style.

Cathy Bradley, Clerk and Director of Legislative Services
Hastings County

Patti O'Grady

Subject: FW: Peterborough County Resolution Regarding Alto High Speed Train County Engagement Principles

From: Clerks Office <ClerksOffice@ptbocounty.ca>

Sent: April 9, 2026 11:50 AM

Subject: Peterborough County Resolution Regarding Alto High Speed Train County Engagement Principles

You don't often get email from clerksoffice@ptbocounty.ca. [Learn why this is important](#)

Good morning,

Please note at their meeting on April 8, 2026, Peterborough County Council passed the following resolution:

Resolution No. 52-2026

Moved by Councillor Huntley
Seconded by Councillor Taylor

That Report CAO-2026-01 be received.

That Council endorses the following five Engagement Principles for future discussions with Alto:

1. Peterborough County will advocate for transparency and accountability from ALTO, ensuring residents, businesses, and townships receive clear and consistent information at every stage of the project.
2. Peterborough County will work towards outcomes that reflect the long-term best interests of residents, businesses, and townships, supporting social well-being, economic vitality, and quality of life.
3. Peterborough County will seek to minimize impacts to connectivity, municipal service delivery, agriculture, significant environmental features, and local employers, while supporting responsible growth.
4. Peterborough County will advocate for respect, fair treatment, and meaningful recognition of rural voices throughout project development and implementation, reflecting its role as a champion for rural communities.
5. Peterborough County recognizes that the Alto project presents both significant potential benefits and legitimate challenges for our communities. The County affirms that raising concerns, asking questions, and seeking improvements on behalf of residents does not equate to endorsement or opposition of the project.

That these Engagement Principles be shared with media, Alto, Townships, all local MPs, all local MPPs, local First Nations, and Eastern Ontario Wardens' Caucus members.

That Council direct Staff to establish a Peterborough County Alto Strategic Working Group as outlined in Appendix A to develop a unified regional strategy regarding the Alto High Speed Train project.

That the County Warden, County Deputy Warden, Asphodel-Norwood Township Mayor, Cavan Monaghan Township Mayor, Douro-Dummer Township Mayor, Havelock-Belmont-Methuen Mayor, and Otonabee-South Monaghan Mayor be appointed to the Peterborough County Alto Strategic Working Group which composition may be reviewed throughout the process by Council as applicable.

That the Warden be authorized to act as County spokesperson, in consultation with the Working Group on matters relating to Alto High-Speed Train.

Carried

If you require additional information or have any questions, please contact Emmanuel Pinto, Government Relations Coordinator, at epinto@ptbocounty.ca.

Best regards,
Sam

Clerks Department

Address: 470 Water St., Peterborough, ON K9H 3M3

Phone: 705-743-0380

Email: clerksoffice@ptbocounty.ca



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Box 608, Little Current, POP 1K0
705-368-3500

Please see below a Resolution passed by the Council of Northeastern Manitoulin and the Islands.

If your Council supports this motion please share with the appropriate Ministries and Organizations.

Thank You

Resolution No. 75-03-2026

Moved by: B. Wood

Seconded by: P. Aelick

Whereas the Town of Northeastern Manitoulin and the Islands, like many municipalities, utilizes chip-and-tar surface treatment on a significant portion of its road network; and

Whereas the Town has observed a substantial decrease in the length of time these treated roads remain in acceptable condition; and

Whereas the quality and durability of the oil used in the surface treatment appears to be a contributing factor; and

Whereas the Ministry of the Environment amended its regulations several years ago, permitting only lighter-grade oils for environmental considerations; and

Whereas the reduced durability of the lighter-grade product has resulted in more frequent resurfacing cycles and has consequently led to increasing maintenance costs;

Now therefore be it resolved that the Town of Northeastern Manitoulin and the Islands respectfully requests that the Ministry of the Environment reconsider its decision regarding the lighter grade of oil, taking into account the increased number of applications required, as well as the associated additional time, energy, and financial burden placed on municipalities or develops a better alternative oil.

And Further that this motion be forwarded to the Ministry of Environment, AMO, Good Roads, FONOM, MPP Bill Rosenberg, and all other municipalities.

Carried

The Corporation of the Township of Douro-Dummer

By-law Number 2026-14

Being a By-Law to Provide for The Paying of An Annual Allowance to the Members of Council for The Corporation of the Township of Douro-Dummer and to repeal By-law 2022-37 (Council Remuneration By-law)

Whereas the Municipal Act 2001, S.O. 2001, c.25, Section 283, authorizes a Township to pass by-laws for the paying of remuneration and expenses of the members of Council, the officers and employees of the Township, and to other persons who have been appointed by the Council to serve as a member of a local Board or Committee;

Now therefore the Council for The Corporation of the Township of Douro-Dummer hereby enacts as follows:

- 1) That Schedule "A" attached hereto shall comprise the remuneration that shall be paid to members of Council.
- 2) That this By-law shall be reviewed prior to the end of the 2026-2030 term of Council.
- 3) That By-law Number 2022-37 is deemed to be repealed as of the effective date of this By-law.
- 4) That this By-law shall come into effect on November 15, 2026.

Passed in open Council this 21st day of April, 2026.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig

Schedule "A" to By-law 2026-14

1. Council Remuneration:

The annual salary outlined below represents remuneration for:

- Attending Council meetings
- Attending Standing Committee meetings
- Attending Advisory Committee meetings
- Attending Ad Hoc Committee meetings
- Attending associated and related business functions
- Representing the Township of Douro-Dummer at all special functions and events official functions.

Special functions and events shall include but are not limited to association meetings, retirement parties, annual or local social events, public information sessions, open houses, facility openings and tours, local fairs and functions, presentations, responses to ratepayer calls, etc.

The Council remuneration stated herein is exclusive of any additional remuneration which may be paid to Council Members for participation in other Boards, Committees or County Council (e.g. Police Services Boards, Conservation Authority or similar).

That the annual salary for members of Council shall be as follows:

Position	As of January 1, 2026
Mayor	\$37,720.80
Deputy Mayor	\$28,600.00
Councillor	\$25,607.40

That an annual increase of equal amount to the increase provided to staff through the Staff Compensation By-law, be added every year thereafter beginning on January 1, 2027, for the term of Council.

Each member of Council will submit a monthly statement of mileage, conferences and training sessions when events have been attended.

2. Other Remuneration:

a) Conferences, Seminars and Other Township Business:

That members of Council who are required to be out of the Township for the purpose of attending conferences, training sessions or on Township business shall be compensated as follows:

- i. A per diem rate of \$150.00 per day for members of Council to attend conferences and training sessions providing that the Township is a member of the association or have obtained prior Council approval. For members of Council who attend a training session of more than half a day, but not more than one (1) full day, an allowance of \$75.00 shall be granted.
- ii. For actual travel expenses incurred when traveling by bus, rail, air (economy class rate only), personal automobile (Mileage Rate set via the Staff Compensation By-law) and required parking.
- iii. For basic registration fees if not already pre-paid by the Township.
- iv. For overnight accommodation, where applicable, if not pre-paid by the Township, receipts will be required. Room service, etc. shall not be paid.

- v. All members are encouraged to use their discretion with regard to the number of conferences they attend in a year (maximum of two (2) and it is suggested that the conference program be reviewed for suitability and educational content and shall confirm that there are budgetary resources available to cover costs, prior to registration or other arrangements.

b) Travel:

That members of Council receive the approved Mileage Rate as set by the Staff Compensation By-law, per kilometer, for travel by personal automobile or expenses incurred while travelling on Township business as described in Section 2.a.ii of this By-law.

c) Technology:

A laptop-style computer will be provided to all Council members for their business use at the beginning of each term. Members may choose to keep the computer at the end of the term for their personal use once all Township data and records have been removed.

3. Benefit Coverage:

The Township will make available to members of Council that wish to access such, a Health and Dental Benefit plan to which the Township will contribute 50% of the annual premium.

4. Administrative Procedures:

a) Expense Reimbursement:

The reimbursement of expenses for professional development, training, conferences and related expenses, shall follow Township procedures including using the expense form, attaching receipts and other documentation for reimbursement. Expense forms shall be submitted on a timely basis to the Clerk for review and approval of payment. The C.A.O. may be consulted as part of the review process.

b) Travel Arrangements:

Accommodation, travel (other than own vehicle) and registration for Township related events (e.g., training and conferences) may be arranged through the Clerk via the Corporate Services Administrative Assistant. Council members are encouraged to select the most economical and practical means of transportation, such as ride sharing, bus, rail, air or otherwise.

c) Reporting:

In accordance with the Municipal Act, the remuneration and expenses paid by the Township to each member of Council shall be reported annually.

The Corporation of the Township of Douro-Dummer

By-law Number 2026-17

Being a By-law of The Corporation of the Township of Douro-Dummer to confirm the proceedings of the Regular Council Meeting of Council held on the 21st of April 2026

The Municipal Council of The Corporation of the Township of Douro-Dummer Enacts as follows:

1. **That** the action of the Council at its Regular Council Meeting held on April 21, 2026, in respect to each motion, resolution, and other action passed and taken by the Council at its said meeting is, except where prior approval of the Local Planning Appeal Tribunal is required, hereby approved, ratified, and confirmed.
2. **That** the Mayor and the proper officers of the Township are hereby authorized to do all things necessary to obtain approvals where required, and to execute all documents as may be necessary in that behalf and the Clerk is hereby authorized and directed to affix the Corporate Seal to all such documents.

Passed in Open Council this 21st day of April 2026.

Mayor, Heather Watson

Clerk, Martina Chait-Hartwig